

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
APRIL 27, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the April 13, 2021 Planning and Zoning Commission meeting.

(3) **P2021-017 (DAVID GONZALES)**

Consider a request by Brian Wade of Raymond L. Goodson Jr., Inc. on behalf of Jason Linscott of Rockwall Regional Hospital, LLC for the approval of a Replat for Lot 25, Block A, Presbyterian Hospital of Rockwall Addition being a 23.0927-acre parcel of land identified as Lot 24, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3142-3150 Horizon Road [FM-3097], and take any action necessary.

(4) **P2021-018 (DAVID GONZALES)**

Consider a request by Jonathan Stites of Seefried Industrial Properties on behalf of Amazon.com Services, LLC for the approval of a Final Plat for Lot 1-3, Block A, DDF9 Addition being a 90.68-acre tract of land identified as Tract 20 & 20-1 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located at the southwest corner of Justin Road and Industrial Boulevard, and take any action necessary.

(V) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is May 11, 2021.

(5) **Z2021-008 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Lance Tyler on behalf of the owner Mike Worster for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and a Guest Quarters/Secondary Living Unit for the purpose of constructing a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit on a 8.011-acre tract of land identified as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road, and take any action necessary.

(6) **Z2021-009 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Michael Morgan on behalf of the owner Gary Scott Barron for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.16-acre parcel of land identified as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Parks Avenue, and take any action necessary.

- (7) **Z2021-010 (DAVID GONZALES)**
Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) superseding Ordinance No. 20-34 and allowing an accessory building that does not conform to S-231 [Ordinance No. 20-34] on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.
- (8) **Z2021-011 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Kristi Bryant for the approval of a Specific Use Permit (SUP) for an Accessory Building for the purpose of allowing an existing greenhouse on a 0.496-acre tract of land identified as Lot 5 & 6, Block A, Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Street, and take any action necessary.
- (9) **Z2021-012 (DAVID GONZALES)**
Hold a public hearing to discuss and consider a request by Ahmad Maktabi on behalf of Gerald Houser of Lynstar, LLC for the approval of a Specific Use Permit (SUP) for a General Retail Store in a Light Industrial (LI) District on a 1.243-acre parcel of land identified as Lot 3, Block 1, Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276, and take any action necessary.
- (10) **Z2021-013 (RYAN MILLER)**
Hold a public hearing to discuss and consider approval of a Text Amendment to Subsection 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of clarifying the requirements for temporary structures on leased property within the takeline area.
- (11) **P2021-019 (DAVID GONZALES)**
Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of John Arnold of Gideon Grove Addition, LTD for the approval of a Final Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.
- (12) **P2021-020 (DAVID GONZALES)**
Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Preliminary Plat for Lots 1-6, Block A, Fit Sport Life Addition being a 55.784-acre tract of land identified as a portion of Tract 22 and all of Tracts 22-2 & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and FM-549 Overlay (FM-549 OV) Districts, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.
- (13) **SP2021-010 (DAVID GONZALES)**
Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Site Plan for a sports and recreation facility on a 6.38-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.
- (14) **SP2021-012 (HENRY LEE)**
Discuss and consider a request by Mike Prince of Truman Heights, LLC for the approval of a Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.
- (15) **SP2021-013 (HENRY LEE)**
Discuss and consider a request by Chris Maynor of Z Constructors Nationwide, LLC on behalf of Ted Hoisington of the Rockwall Rotary Foundation for the approval of an Amended Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street, and take any action necessary.
- (16) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.
- P2021-009: Replat for Lot 1, Block A, Kennedy Addition **(APPROVED)**
 - P2021-010: Replat for Lots 1 & 2, Block A, Wreyford Addition **(APPROVED)**

- P2021-011: Final Plat for Lots 1 & 2, Block A, Birds Nest Addition (**APPROVED**)
- P2021-012: Preliminary Plat for Phase 2 of the Saddle Star Estates South Addition (**APPROVED**)
- P2021-013: Preliminary Plat for Lots 1-19, Block A, Landon Addition (**APPROVED**)
- P2021-014: Preliminary Plat for Nelson Lake Addition (**APPROVED**)
- SP2021-005: Variance to the Parking Requirements for HG Supply Co. (**APPROVED**)
- SP2021-007: Major Waiver to the Parking Requirements for Bonafide Betties Pie (**APPROVED**)
- Z2021-006: Zoning Amendment to Planned Development District 79 (PD-79) (**DENIED**)
- Z2021-007: Zoning Change (AG to PD) for the Klutts Farm (**DENIED**)

(VI) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on April 23, 2021 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
APRIL 13, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 NOTES ABOUT PUBLIC PARTICIPATION = RED

3

4 I. CALL TO ORDER

5

6 Chairman Chodun called the meeting to order at 6:00 PM. Commissioners present were John Womble, Derek Deckard, Sedric Thomas,
7 Mark Moeller, Jean Conway, and Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning Director Ryan Miller,
8 Planning and Zoning Manager David Gonzales, Planning and Zoning Coordinator Angelica Gamez, Planner Henry Lee, City Engineer Amy
9 Williams, and Civil Engineers Sarah Johnston and Jeremy White.

10

11 II. OPEN FORUM

12

13 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per*
14 *the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during*
15 *the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the*
16 *Texas Open Meetings Act.*

17

18 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being
19 no one coming forward, Chairman Chodun closed the open forum.

20

21 III. CONSENT AGENDA

22

23 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development*
24 *Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

25

26 1. Approval of Minutes for the March 30, 2021 Planning and Zoning Commission meetings.

27

28 2. **P2021-009 (HENRY LEE)**

29 Consider a request by Brenda Kennedy for the approval of a Replat for Lot 1, Block A, Kennedy Addition being a 0.2342-acre parcel of land
30 identified as Lot 1, Block A, Richard Harris Subdivision No. 5 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7)
31 District, addressed as 701 N. T. L. Townsend Drive, and take any action necessary.

32

33 3. **P2021-010 (DAVID GONZALES)**

34 Consider a request by Doug Stewart on behalf of Bryan Wreyford for the approval of a Replat for Lots 1 & 2, Block A, Wreyford Addition being a
35 2.97-acre parcel of land identified as Lot 1 of the Crowell's Hidden Valley Estates Addition, Collin County, Texas, situated within the City of
36 Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southeast corner of the intersection of County Road 949 and County Road
37 536, and take any action necessary.

38

39 4. **P2021-011 (HENRY LEE)**

40 Consider a request by Mike and Cheryl Birdwell for the approval of a Final Plat for Lots 1 & 2, Block A, Birds Nest Addition being a 4.02-acre tract
41 of land identified as Tract 15 of the J. Smith Survey, Abstract No. 191, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial
42 Jurisdiction (ETJ), addressed as 171 Birds Nest Lane, and take any action necessary.

43

44 5. **P2021-012 (DAVID GONZALES)**

45 Consider a request by Jose Campos of Hines on behalf of CDT Rockwall/2017 LLC for the approval of a Preliminary Plat for Phase 2 of the Saddle
46 Star Subdivision being a 29.002-acre tract of land identified as Tracts 1, 1-05, 2-03, & 2-07 of the P. B. Harrison Survey, Abstract No. 97, City of
47 Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (Ordinance No. 20-35), situated within the SH-205 By-Pass (SH-205
48 BY OV) District, generally located east of the intersection of Featherstone Drive and N. John King Boulevard, and take any action necessary.

49

50 6. **P2021-013 (DAVID GONZALES)**

51 Consider a request by Bart Carroll for the approval of a Preliminary Plat for the Landon Subdivision being a 32.60-acre tract of land identified as
52 Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction
53 (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

54

55 7. **P2021-014 (HENRY LEE)**

56 Consider a request by Humberto Johnson, Jr. of the Skorburg Company on behalf of Jen-Liang Wu for the approval of a Preliminary Plat for the
57 Nelson Lake Subdivision being a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall,
58 Rockwall County, Texas, zoned Planned Development District 90 (PD-90) for Single-Family 10 (SF-10) District, generally located at the southeast
59 corner of the intersection of FM-1141 and FM-552, and take any action necessary.

60

61 Commissioner Thomas made a motion to approve the consent agenda. Commissioner Moeller seconded the motion which passed by a
62 vote of 7-0.

63

64 IV. PUBLIC HEARING ITEMS

65

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

8. **Z2021-006 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners C. D. T. Rockwall 2017, LLC; Saddle Star Holdings, LLC; and Gwendolyn Reed for the approval of a Zoning Amendment to Planned Development District 79 (PD-79) [Ordinance No. 20-35] for the purpose of amending the development standards contained in Ordinance No. 20-35 for a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

Director of Ryan Miller provided a brief summary in regards to the request. He explained that the last amendment this Board saw was made back in July 2020. At the time the applicant was only willing to change the garage orientation of only the Type B lots. Specifically what he was proposing was 30% flat front entry garages and 70% with either a traditional swing or modified swing. The reason why it doesn't meet our ordinance, which only allows j-swing and recessed front entry, is because the 2-car garage only sits back about 10-feet from the front property line. What the applicant is bringing back tonight is a request to do the same thing with the Type A lots. Specifically, the Type A lots currently have an entitlement of 50% flat front entry and 50% j-swing. What they would like to do is incorporate that modified swing into the 50% j-swing to give them the option of either doing the modified swing or the j-swing. Mr. Miller advised that staff sent out 142 notice to property owners and residents within 500-feet of the subject property. The Stone Creek HOA was also notified and staff has not received any notices back in regards to the case.

Chairman Chodun asked the applicant to come forward.

Pat Atkins
3076 Hays Lane
Rockwall, TX 75087

Mr. Atkins came forward and provided additional details and a PowerPoint presentation in regards to the request.

Chairman Chodun opened the public hearing and asked anyone who wished to speak to do so at this time. There being no one indicating such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Vice-Chairman Welch asked if the only change was the verbiage on the ordinance.

Vice-Chairman Welch made a motion to approve item Z2021-006 with the amendment that they will be restricted to 50% of the amount previously approved. Mr. Miller clarified that that was what they were currently asking for. Vice-Chairman Welch then withdrew his motion.

Commissioner Womble made a motion to approve item Z2021-006. Commissioner Thomas seconded the motion which passed by a vote of 6-1 with Vice-Chairman Welch dissenting.

Chairman Chodun advised that the item will be brought before the City Council on April 19, 2021.

9. **Z2021-007 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 7 (SF-7) District land uses on a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary and background in regards to the request. The applicant is requesting to rezone the subject property from an Agricultural (AG) District to a Planned Development District for 526-lot residential subdivision that will consist of four (4) lot products: [408] 62'x120' lots, [95] 72'x120' lots, [13] 82'x120' lots, and [10] 100'x120' lots. Based on what was presented at the work session, there is a reduction of 37 lots from the original concept plan. The applicant has also removed the 52x120-foot lots and absorbed those into the 62'x120' lots. This also changed the density that was originally proposed to the Commission. The applicant is not proposing alley ways as is required in the Engineering Standards of Design. In lieu of that, they are proposing a modified garage orientation- specifically they are requesting all j-swing with the ability to do a 2-car garage facing the street. They are also requesting that 25% of the lots be allowed to be flat front entry but only on the 62-foot lot products. As a compensatory measure, the applicant is proposing to incorporate upgraded garage doors on all products. Mr. Miller also explained how they are also not conforming to the fencing standards. As a compensatory measure for this, the applicant is proposing to have a heavy screening area in the open space area. The applicant is also proposing a dog park which does require the approval of City Council. This particular property is designated for low-density residential uses which is 2 units per acre, with the ability to go up to 2.5 units per acre, as stated in the Comprehensive Plan. In this case, the applicant is requesting 2.68 units per acre which is above what the comprehensive plan calls for. This change from low-density residential to medium-density residential is a discretionary decision for City Council pending a recommendation from the Planning and Zoning Commission. Mr. Miller pointed out that there is no shift in the residential to commercial ratio. The proposed plan does appear to meet many of the district strategies as well as the goals and policies laid out by

135 the plan. However, the increase in density is a discretionary matter for the Planning and Zoning Commission and City Council and it
136 does not meet the current plan. On March 26, 2021, staff mailed out 23 notices to property owners and residents within 500-feet of the
137 subject property. Mr. Miller then advised the Commission that the applicant and Staff were present and available for questions.
138

139 Commissioner Womble wanted explanation as to how density was calculated in this project.
140

141 Chairman Chodun asked the applicant to come forward.
142

143 Adam Buczek
144 8214 Westchester Drive, Suite 900
145 Dallas, TX 75225
146

147 Mr. Buczek came forward and provided additional details and a PowerPoint presentation in regards to the request. He also provided a
148 statement from the Klutts Family.
149

150 Chairman Chodun expressed his opposition to the request.

151 Commissioner Deckard expressed his opinion of being in favor to the request. He had suggestions in regards to the mixture of the
152 different foot lots.
153

154 Commissioner Thomas asked if this was the best site for a city park. He also asked if there was any other development in the city.

155 Mr. Miller advised the Commission that the Park Board had voted in favor of the park and it was in the Parks Plan for a south regional
156 park.

157 Commissioner Deckard asked what would be the minimum entry-level price for a home.

158 Chairman Chodun advised that not many were happy with how low-density was calculated in certain areas.

159 Vice-Chairman Welch asked who maintained the Lawson Cemetery.

160 Commissioner Conway added that it would like to see the mixture of houses also.

161 Commissioner Deckard stated that there could be a mixture of homes in the development.

162 The applicant, Mr. Buczek, asked if tabling the case would be an option.

163 Commissioner Moeller added that he would like for the development to stay at a low-density designation instead of the medium-density
164 development.
165

166 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.
167

168 Richard Henson
169 2424 S. FM 549
170 Rockwall, TX 75032
171

172 Mr. Henson came forward and expressed his opposition to the request. He also provided a letter signed by property owners opposed
173 to the high-density housing.
174

175 Sharon Henson
176 2424 S. FM 549
177 Rockwall, TX 75032
178

179 Mrs. Henson came forward and expressed her opposition to the request.
180

181 Katie Welch
182 2844 S. FM 549
183 Rockwall, TX 75032
184

185 Mrs. Welch came forward and expressed her being in favor to the request. She had some questions in regards to the infrastructure.
186

187 Chris Duggan
188 2516 S. FM 549
189 Rockwall, TX 75032
190

191 Mr. Duggan came forward and supported the development but his big concern was the density of it.
192

193 Jim Turner
194 1691 E. Old Quail Run Road
195 Rockwall, TX 75087
196

197 Mr. Turner came forward and expressed his opposition in regards to the request.
198

199 Chairman Chodun asked if anyone else wished to speak to come forward; there being no one doing such, Chairman Chodun closed the
200 public hearing and asked the applicant to come forward to address comments made by the residents.
201

202 Mr. Buczek came forward and addressed comments made by the residents.
203

204 Commissioner Deckard expressed his support if the applicant were to be able to mix up the different foot lots.

205 Commissioner Moeller liked the idea of removing some homes and reducing the density in the development.

206 Commissioner Womble expressed his support for the request.

207 Commissioner Deckard asked if the Park Board voted unanimously for the park. Mr. Miller stated that they did recommend approval for
208 the park.

209 Commissioner Conway asked if Mr. Buczek could address the mixture of the lots.

210
211 After some discussion, Commissioner Deckard made a motion to approve item Z2021-007 on the condition that the applicant looks at
212 the mixture of the lots but not increasing the lot count. Commissioner Womble seconded the motion which passed by a vote of 5-2 with
213 Commissioners Chodun and Moeller dissenting.

214
215 Chairman Chodun advised that the case will go before the City Council on April 19, 2021.

216
217 V. ACTION ITEMS

218
219 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and*
220 *special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of*
221 *Ordinances.*

222
223 10. SP2021-005 (DAVID GONZALES)

224 Discuss and consider a request by Cameron Slown of Teague, Nall and Perkins, Inc. on behalf of Elias Pope of 8020 Hospitality, LLC for the
225 approval of a Site Plan for a *Restaurant with 2,000 SF or More without Drive-Through or Drive-In* on a 0.90-acre parcel of land identified as Lot 5,
226 Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [*Ordinance No. 17-*
227 *22*], situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road
228 and Sunset Ridge Drive, and take any action necessary.

229
230 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The subject property is adjacent to
231 I-30, making it a part of the I-30 Overlay District. A previous site plan was approved by the Planning and Zoning Commission back in
232 2015. The applicant brought back the same site plan, same building, and same variances as before. The variances are going to be
233 associated with the stone as well as the masonry. Also in 2015, a variance to have parking spaces in Trend Tower garage was approved
234 by City Council in order for the applicant to meet their requirements. The applicant is requesting three variances total with his request.
235 The Architectural Review Board (ARB) forwarded a recommendation for approval including the variances. The Unified Development
236 Code (UDC) does allow for the applicant to request these, as long as compensatory measures are to be offered. This is a discretionary
237 decision for the Planning and Zoning Commission and does require a ¾ majority vote when looking at variances. Mr. Gonzales advised
238 that the applicant and Staff were present and available to answer questions.

239
240 Vice-Chairman Welch asked if there would be signs for the overflow parking to the Trend Tower. Mr. Miller added that that could be a
241 recommendation.

242
243 Chairman Chodun asked the applicant to come forward.

244
245 Cameron Slown
246 2 Horizon Court
247 Heath, TX 75032

248
249 Mr. Slown came forward and added that the signage could be something they provide. He also added additional details in regards to
250 his request.

251
252 Commissioner Moeller made a motion to approve item SP2021-005 with staff recommendations and with the recommendation for
253 signage to the overflow parking at Trend Tower. Commissioner Thomas seconded the motion which passed by a vote of 7-0.

254
255 11. SP2021-006 (HENRY LEE)

256 Discuss and consider a request by Quadri Akamo of Pacheco Koch Consulting Engineers, Inc. on behalf of Gary Hancock of the First United
257 Methodist Church of Rockwall for the approval of an Amended Site Plan for the expansion of an existing *House of Worship* on a 8.49-acre parcel
258 of land identified as Lot 7, Block 1, First United Methodist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)
259 District, addressed as 1200 E. Yellow Jacket Lane, and take any action necessary.

260
261 Planner Henry Lee provided a brief summary in regards to the request. The applicant is proposing a 7,278 square foot addition to the
262 existing house of worship. It will connect the three (3) existing buildings to form one. They will also utilize the same materials and
263 architecture styles as the existing buildings. The proposed site plan does meet the density and dimensional requirements within the
264 UDC. However, the applicant is requesting a variance for the driveway spacing to have a u-shaped drive along Yellowjacket Lane. The
265 compensatory measures they are offering are upgrading the landscaping and using at least 60% brick on each façade of the addition.
266 The ARB did approve the elevations with the case.

267
268 Chairman Chodun asked the applicant to come forward.

269
270 Quadri Akamo
271 7557 Wrangler Rd, Suite 400
272 Dallas, TX 75231

274 Mr. Akamo came forward and was prepared to answer questions.

275
276 Commissioner Conway made a motion to approve item SP2021-006. Commissioner Thomas seconded the motion which passed by a
277 vote of 7-0.
278

279 12. **SP2021-007 (HENRY LEE)**

280 Discuss and consider a request by Nicholas Gamez of DFDVB Homes, LLC on behalf of Zach Shipley for the approval of an Amended Site Plan
281 for a Restaurant with Less Than 2,000 SF without Drive-Through or Drive-In on a 0.018-acre tract of land identified as a portion of Lot 7, Block M,
282 Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 109 E. Washington Street, and
283 take any action necessary.
284

285 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting approval of an amended site plan
286 for the purpose of establishing a restaurant less than 2,000 square feet without a drive-thru or drive-in. The subject property does not
287 have any dedicated parking spaces and would need to utilize public parking. Not meeting this requirement is considered a major waiver
288 to the Downtown District standards and will require this to go before City Council pending a recommendation from the Planning and
289 Zoning Commission. This case was also approved by the ARB by a vote of 5-0.
290

291 Commissioner Conway asked a question regarding the air conditioning.

292 Chairman Chodun asked the applicant to come forward.

293
294
295 Nicholas Gamez
296 3018 Shelley Blvd
297 Dallas, TX 75211
298

299 Mr. Gamez came forward and provided additional details in regards to his case.

300
301 Vice-Chairman Welch made a motion to approve item SP2021-007 with staff recommendations. Commissioner Thomas seconded the
302 motion which passed by a vote of 7-0.
303

304 Chairman Chodun advised this item would be brought before the City Council on April 19, 2021 due to it requesting a major waiver.
305

306 13. **SP2021-008 (HENRY LEE)**

307 Discuss and consider a request by Thomas Jones of Tomden Engineering on behalf of Rockwall Friendship Baptist Church for the approval of a
308 Site Plan for an existing House of Worship on a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of
309 Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651
310 SH-276, and take any action necessary.
311

312 Planner Henry Lee provided a brief summary in regards to his request. The applicant is proposing a 3,500 square foot addition to the
313 existing house of worship. The proposed addition will be integrated into the southern building on the site to bring the subject property
314 closer into conformance with the overlay district standards. The proposed addition does generally meet the density and dimensional
315 requirements found within the UDC. However, the new addition does not meet the horizontal articulation standards to which the
316 applicant has requested a variance for. The compensatory measures include increasing the landscaping and they are using 64.5% stone
317 for the addition when 20% is the baseline requirement. The ARB approved this case by a vote of 5-0.
318

319 Chairman Chodun asked the applicant to come forward.

320
321 Thomas Jones
322 5815 Meadow Crest Drive
323 Dallas, TX 75230
324

325 Mr. Jones came forward and was prepared to answer questions.

326
327 Commissioner Moeller made a motion to approve SP2021-008 with staff recommendations. Commissioner Conway seconded the motion
328 which passed by a vote of 7-0.
329

330 14. **SP2021-009 (DAVID GONZALES)**

331 Discuss and consider a request by David Morales of Pross Design Group on behalf of Alvaplat US Development LLC for the approval of an
332 Amended Site Plan for an expansion to an existing Office/Warehouse/Manufacturing Facility (SPR Manufacturing) on a 10.1893-acre tract of land
333 identified Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as
334 1480 Justin Road, and take any action necessary.
335

336 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. He clarified that this is for an
337 expansion of the existing SPR facility located at 1480 Justin Road. The applicant is essentially incorporating pre-existing metal panels
338 onto the back side of the property. They already have existing panels but they are going to finish out the project. The request does
339 require an exception to allow for secondary materials. The applicant is providing compensatory measures for the exception in that they
340 are providing four (4) additional canopy trees along Justin Road. Mr. Gonzales advised the Commission that the applicant and Staff
341 were present and available for questions.
342

343 **Bobby Pross**
344 **5310 Harvest Hill, Suite 180**
345 **Dallas, TX 75230**
346

347 **Mr. Pross came forward and provided additional details in regards to the request. He added that it's a vertical expansion so there's no**
348 **added square footage to the project. The building materials are the same as were used in the vertical expansion several years ago. The**
349 **purpose of this is to house their plastic extruding equipment.**

350
351 **Commissioner Moeller made a motion to approve SP2021-009 with staff recommendations. Commissioner Thomas seconded the motion**
352 **which passed by a vote of 7-0.**
353

354 VI. DISCUSSION ITEMS
355

356 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will*
357 *come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when*
358 *these items are considered for action by the Planning and Zoning Commission.*
359

360 15. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
361

- 362 • Z2021-004: SUP for Residential Infill in an Established Subdivision at 418 Perch Road [APPROVED; 2ND READING]
- 363 • Z2021-005: Zoning Change (AG to PD) for Winding Creek [APPROVED; 2ND READING]
- 364

365 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council**
366 **meeting.**
367

368 VII. ADJOURNMENT
369

370 **Chairman Chodun adjourned the meeting at 8:25 PM.**
371

372 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of ____
373 _____, 2021.
374

375 _____
376 Eric Chodun, Chairman
377

378 Attest:

379 _____
380 Angelica Gamez, Planning and Zoning Coordinator
381



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 27, 2021
APPLICANT: Brian Wade; *Raymond L. Goodson Jr., Inc.*
CASE NUMBER: P2021-017; *Replat for Lot 25, Block A, Presbyterian Hospital of Rockwall Addition*

SUMMARY

Consider a request by Brian Wade of Raymond L. Goodson Jr., Inc. on behalf of Jason Linscott of Rockwall Regional Hospital, LLC for the approval of a Replat for Lot 25, Block A, Presbyterian Hospital of Rockwall Addition being a 23.0927-acre parcel of land identified as Lot 24, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3142-3150 Horizon Road [FM-3097], and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 23.0927-acre parcel of land (*i.e. Lot 24, Block A, Presbyterian Hospital of Rockwall Addition*) for purpose of establishing parking, water, and temporary drainage easements for the existing lot for Presbyterian Hospital of Rockwall.
- On November 12, 1973, the City Council approved a zoning change [*i.e. Ordinance No. 73-49*] from Agricultural (AG) District to Planned Development District 9 (PD-9) for single-family, multi-family, and shopping center uses. On June 16, 1986, the City Council approved an amendment to the concept plan for PD-9 via *Ordinance No. 86-55* and repealing *Ordinance No. 73-49*. This ordinance established zoning for single-family, office-warehouse, and general retail land uses within the PD. In October 2010, a plat was filed for the subject property creating *Lots 1-14, Block A, Presbyterian Hospital Addition*. This property has been replatted several times since the original filing of this plat. On June 17, 2017, the Planning and Zoning Commission approved an amended site plan [*i.e. Case No. SP2017-017*] for the purpose of constructing a 5,600 SF expansion to the hospital. On January 14, 2020, the Planning and Zoning Commission approved another amended site plan [*i.e. SP2019-051*] for the purpose of constructing a ~84,000 SF expansion to the existing hospital for the subject property. On April 20, 2020, the City Council approved a replat [*i.e. Case No. P2020-015*] for the purpose of combining five (5) lots (*i.e. Lots 6, 8, 9, 12 & 23, Block A, Presbyterian Hospital Addition*) and creating one (1) lot (*i.e. Lot 24, Block A, Presbyterian Addition*).
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lot 25, Block A, Presbyterian Hospital of Rockwall Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/22/2021

PROJECT NUMBER: P2021-017
PROJECT NAME: Lot 25, Block A, Presbyterian Hospital of Rockwall
SITE ADDRESS/LOCATIONS: 3150 HORIZON RD, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Consider a request by Brian Wade of Raymond L. Goodson Jr., Inc. on behalf of Jason Linscott of Rockwall Regional Hospital, LLC for the approval of a Replat for Lot 25, Block A, Presbyterian Hospital of Rockwall Addition being a 23.0927-acre tract of land identified as Lot 24, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3142-3150 Horizon Road [FM-3097], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	04/21/2021	Approved w/ Comments

04/21/2021: P2021-017; Replat for Presbyterian Hospital of Rockwall Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Replat for Lot 25, Block A, Presbyterian Hospital of Rockwall Addition being a 23.0927-acre tract of land identified as Lot 24, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3142-3150 Horizon Road [FM-3097].
- I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (P2021-017) in the lower right-hand corner of all pages on future submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.
- I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to submittal on mylar for filing.
- M.6 Please provide one (1) hard copy and a PDF/electronic version for review by staff.
- I.7 Please note the scheduled meetings for this case:
 - (1) Planning & Zoning work session meeting will be held on April 27, 2021.
 - (2) City Council Public Hearing will be held on May 3, 2021.
- I.8 Although this agenda item is on the consent agenda, staff recommends that a representative be present for all meetings as indicated above. The meetings are scheduled to

begin at 6:00 PM in the City Council Chambers.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	04/22/2021	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/21/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	04/22/2021	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved
04/19/2021: No comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2021-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **3150 Horizon Road, Rockwall, TX 75032**

Subdivision **Presbyterian Hospital of Rockwall Addition**

Lot **25**

Block **A**

General Location **Horizon Road @ Tubbs Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **PD-9**

Current Use

Proposed Zoning **PD-9**

Proposed Use

Acreage **23.0927 acres**

Lots [Current] **1**

Lots [Proposed] **1**

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner **Rockwall Regional Hospital, LLC**

Applicant **Raymond L. Goodson Jr., Inc.**

Contact Person **Jason Linscott**

Contact Person **Brian R. Wade**

Address **3150 Horizon Road**

Address **12001 N. Central Expy.
Suite 300**

City, State & Zip **Rockwall, TX 75032**

City, State & Zip **Dallas, TX 75243**

Phone **(469) 698-1354**

Phone **(214) 739-8100**

E-Mail **jason.linscott@phrtexas.com**

E-Mail **bwade@rlginc.com**

NOTARY VERIFICATION [REQUIRED]

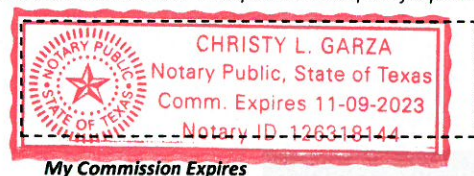
Before me, the undersigned authority, on this day personally appeared Jason Linscott [Owner] the undersigned, who stated the information on this application to be true and certified the following:

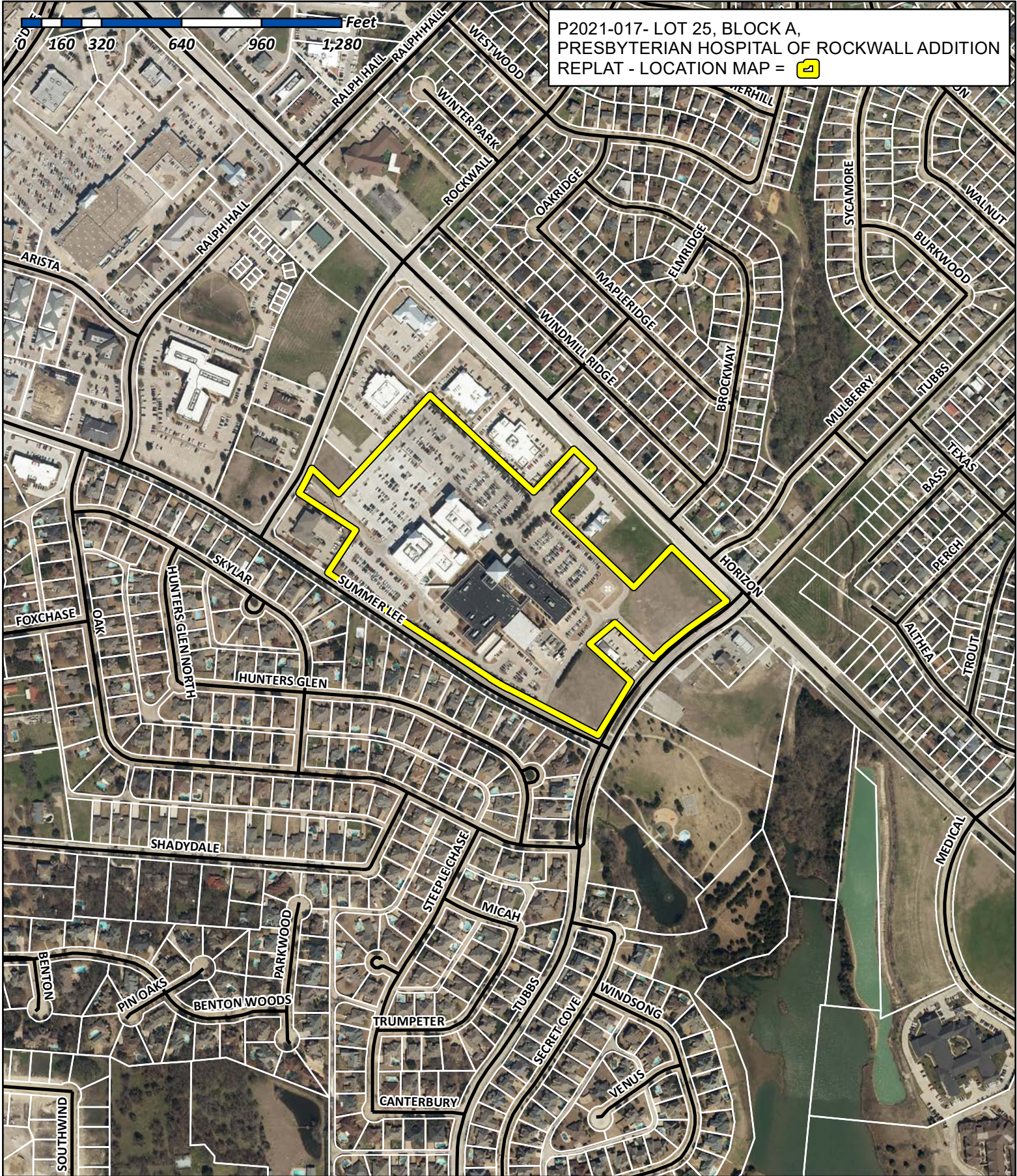
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ ~~780.00~~ \$761.85, to cover the cost of this application, has been paid to the City of Rockwall on this the 19th day of March, 2021. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 19th day of March, 2021

Owner's Signature

Notary Public in and for the State of Texas





P2021-017- LOT 25, BLOCK A,
 PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITION
 REPLAT - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LOT 16, BLOCK A
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
CAB. G, SLIDE 315
M.R.R.C.T.

BLPT LLC
VOL. 6368, PG. 303
O.P.R.R.C.T.

MAC SPORTS AND
REHAB LLC
VOL. 6749, PG. 148
O.P.R.R.C.T.

LOT 17, BLOCK A
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
CAB. G, SLIDE 315
M.R.R.C.T.

24' FIRELANE, PUBLIC
ACCESS AND UTILITY
EASEMENT
CAB. G, SL. 315,
O.P.R.R.C.T.

10' WATER EASEMENT
CAB. G, SL. 43
M.R.R.C.T.

15' SANITARY SEWER EASEMENT
CAB. G, SL. 43, P.R.R.C.T.

24' FIRELANE, PUBLIC
ACCESS AND UTILITY
EASEMENT
VOL. 5567, PG. 261,
VOL. 5518, PG. 124,
R.P.R.C.T. (DOT HATCHED AREA)

20'x25' AT&T
EASEMENT
CAB. G, SL. 43
M.R.R.C.T.

10' UTILITY EASEMENT
(INST. NO. 2020000011578,
O.P.R.R.C.T.)

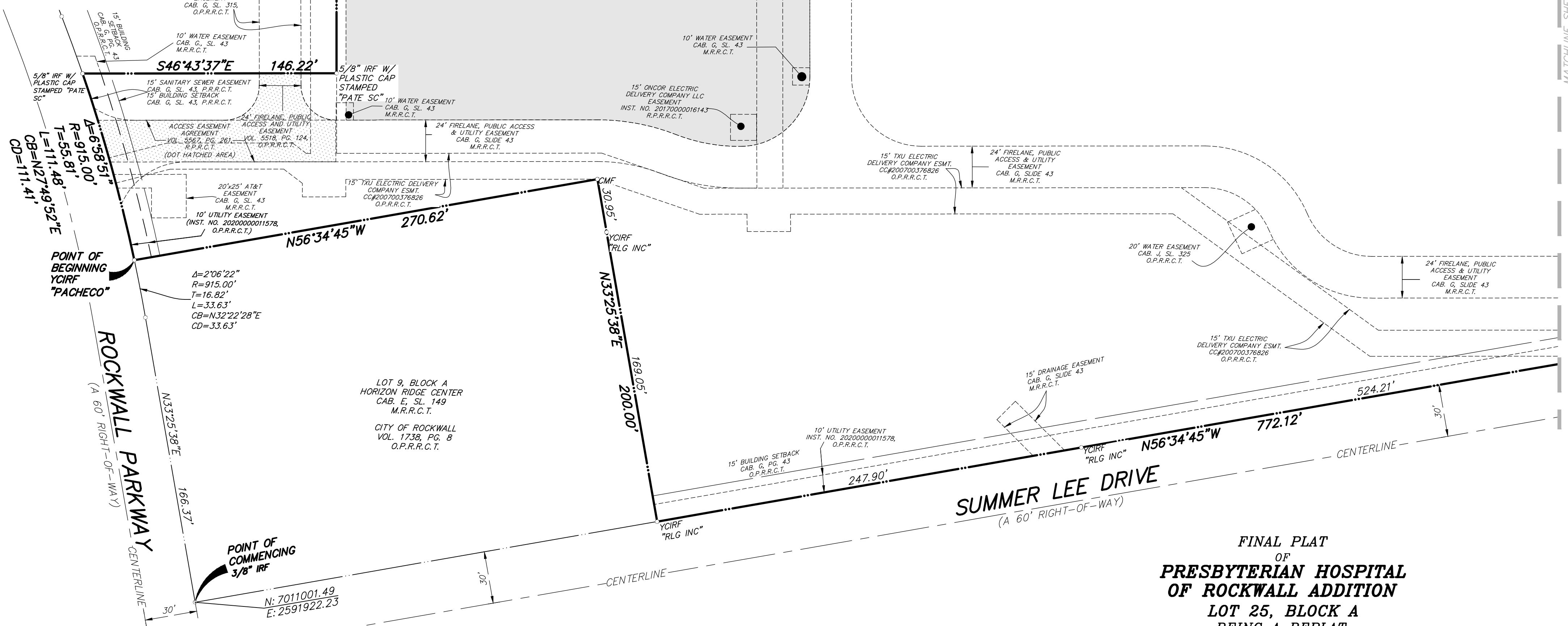
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 $T=16.82'$
 $L=33.63'$
 $CB=N32'22''28''E$
 $CD=33.63'$

LOT 9, BLOCK A
HORIZON RIDGE CENTER
CAB. E, SL. 149
M.R.R.C.T.

CITY OF ROCKWALL
VOL. 1738, PG. 8
O.P.R.R.C.T.

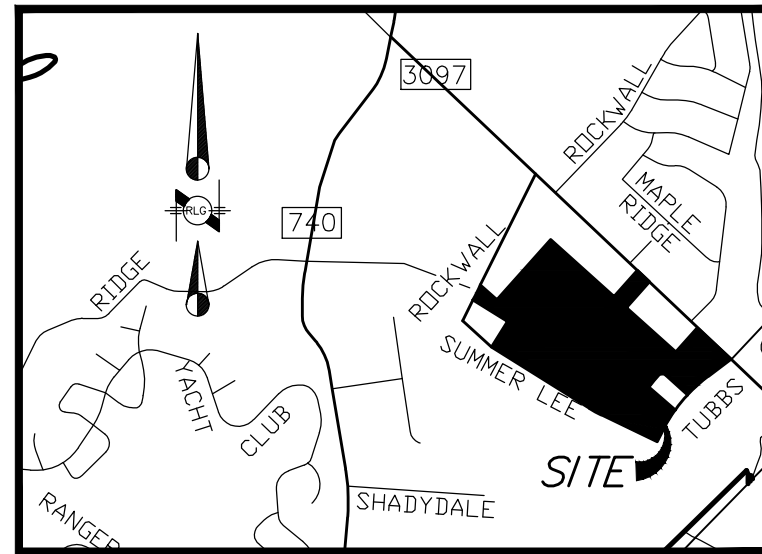
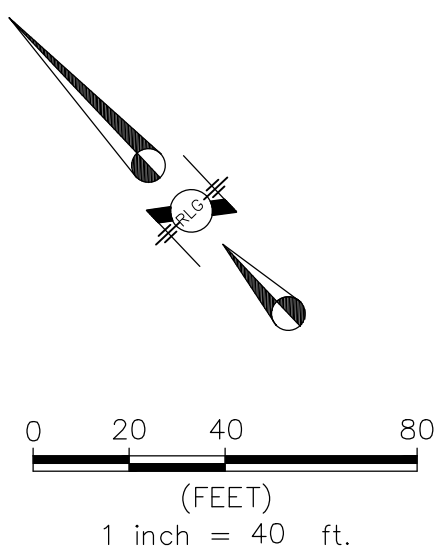
LOT 25, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION
1,005,917 SQ. FT.,
23.0927 ACRES

LOT 24, BLOCK A
PRESBYTERIAN HOSPITAL OF
ROCKWALL ADDITION
INST. NO. 2020000011578
O.P.R.R.C.T.



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- YCIRF 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED " " FOUND
- IRF IRON ROD FOUND
- CMS / CMF CHISELED "X" SET / FOUND
- (CM) CONTROLLING MONUMENT
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TX
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TX
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TX
- INST. NO. INSTRUMENT NUMBER
- VOL. VOLUME
- PG. PAGE
- CAB. CABINET
- SL. SLIDE



VICINITY MAP
NOT TO SCALE

FINAL PLAT
OF
**PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION**
LOT 25, BLOCK A
BEING A REPLAT
OF
**PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION**
LOT 24, BLOCK A
TOTAL 23.0927 ACRES

EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SCALE: 1" = 40' DATE: 01-15-2021

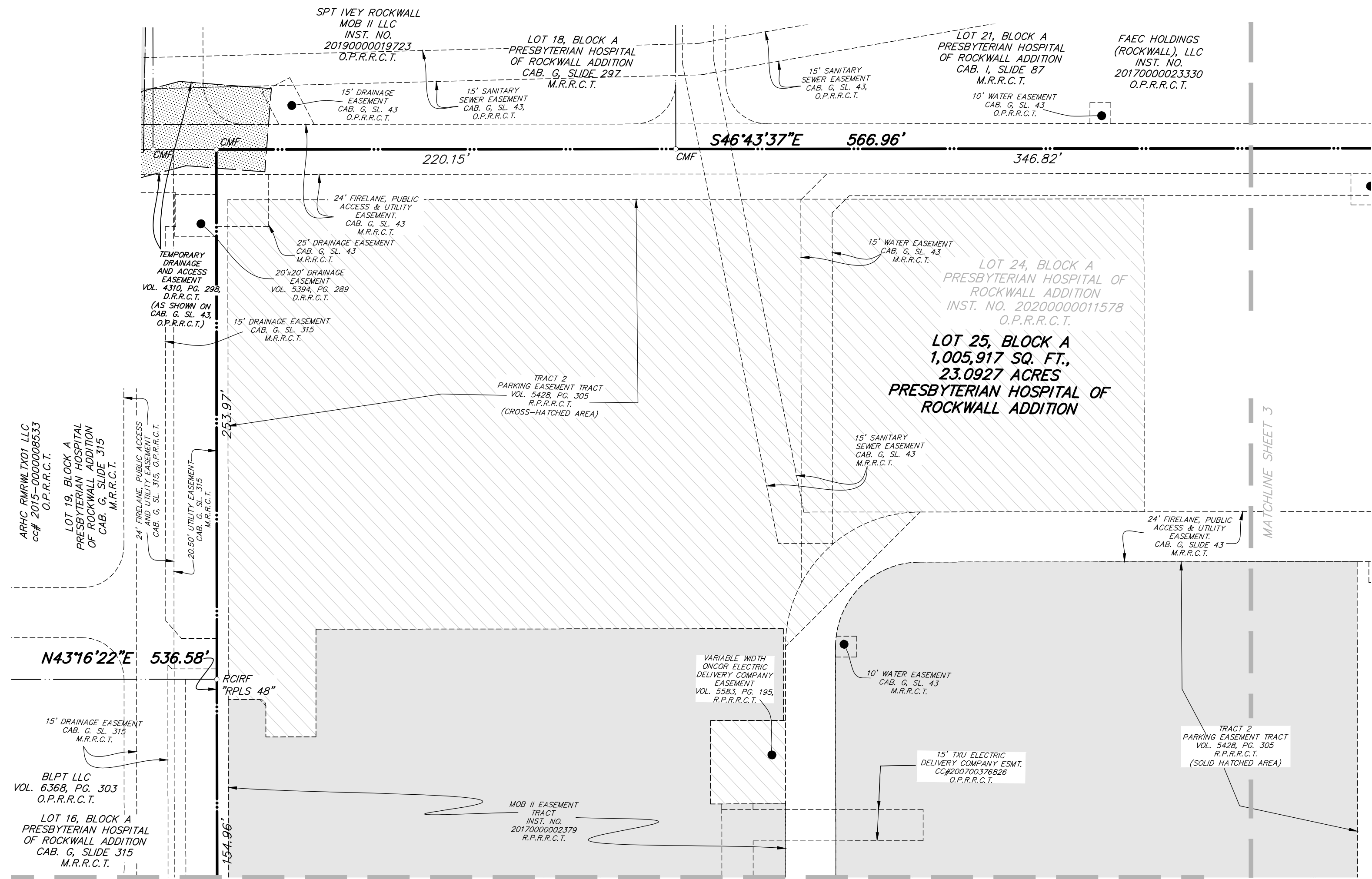
OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. GOODSON JR., INC.
12001 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-8100
rlg@rlginc.com
TX PE REG #P-488
TBPELS REG #100341-00

CASE NUMBER:

SHEET 1 OF 7

RECORDED	INST#	-	JOB NO.	1913.017	E-FILE	1913.017RP	DWG NO.	27,503Z
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ARHC RWRW TX01 LLC
cc# 2019 000008533
O.P.R.R.C.T.

LOT 19, BLOCK A
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
CAB. G. SLIDE 315
M.R.R.C.T.

BLPT LLC
VOL. 6368, PG. 303
O.P.R.R.C.T.

LOT 16, BLOCK A
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
CAB. G. SLIDE 315
M.R.R.C.T.

SPT IVEY ROCKWALL
MOB II LLC
INST. NO.
2019000019723
O.P.R.R.C.T.

LOT 18, BLOCK A
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
CAB. G. SLIDE 29Z
M.R.R.C.T.

LOT 21, BLOCK A
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
CAB. I, SLIDE 87
M.R.R.C.T.

FAEC HOLDINGS
(ROCKWALL), LLC
INST. NO.
2017000023330
O.P.R.R.C.T.

LOT 24, BLOCK A
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
INST. NO. 2020000011578
O.P.R.R.C.T.

LOT 25, BLOCK A
1,005,917 SQ. FT.,
23.0927 ACRES
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION

VARIABLE WIDTH
ONCOR ELECTRIC
DELIVERY COMPANY
EASEMENT
VOL. 5583, PG. 195,
R.P.R.R.C.T.

15' TXU ELECTRIC
DELIVERY COMPANY ESMT.
CC#200700376826
O.P.R.R.C.T.

MOB II EASEMENT
TRACT
INST. NO.
2017000002379
R.P.R.R.C.T.

MATCHLINE SHEET 1

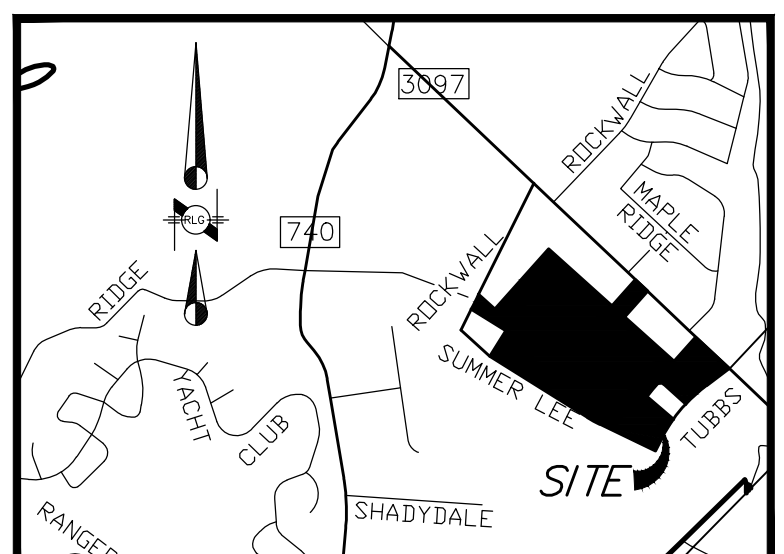
MATCHLINE SHEET 3

LEGEND

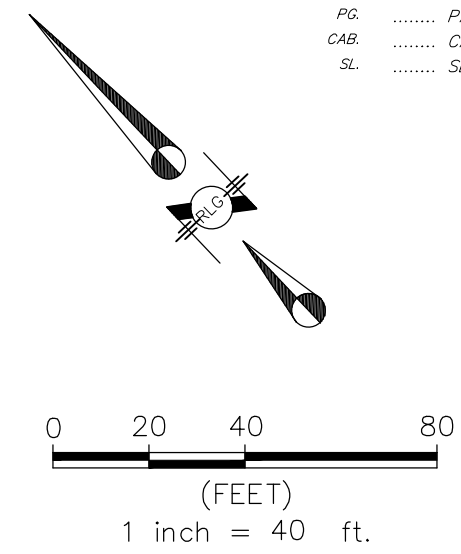
- PROPERTY LINE
- EASEMENT LINE
- YORF 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED " " FOUND
- IRF IRON ROD FOUND
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- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TX
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TX
- INST. NO. INSTRUMENT NUMBER
- VOL. VOLUME
- PG. PAGE
- CAB. CABINET
- SL. SLIDE

**FINAL PLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 25, BLOCK A
BEING A REPLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 24, BLOCK A
TOTAL 23.0927 ACRES**

EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SCALE: 1" = 40' DATE: 01-15-2021



VICINITY MAP
NOT TO SCALE



OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. GOODSON JR., INC.
12001 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-8100
rlg@rlginc.com
TX PE REG #F-4883
TBPELS REG #100341-00

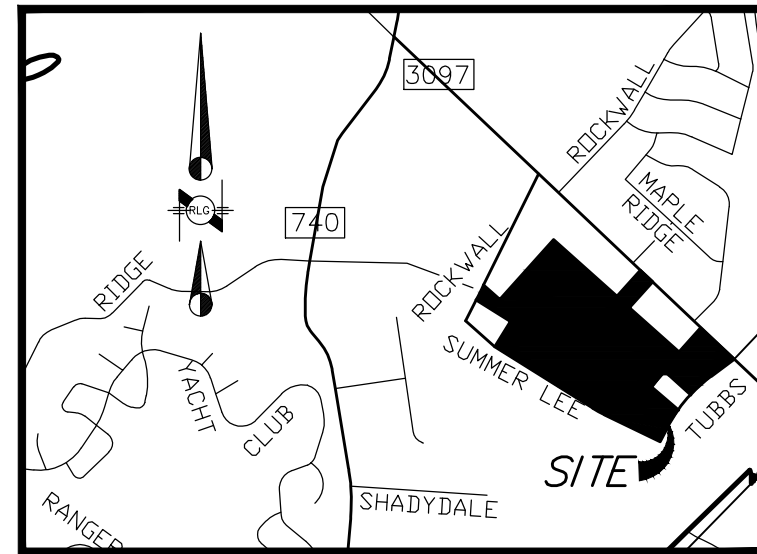
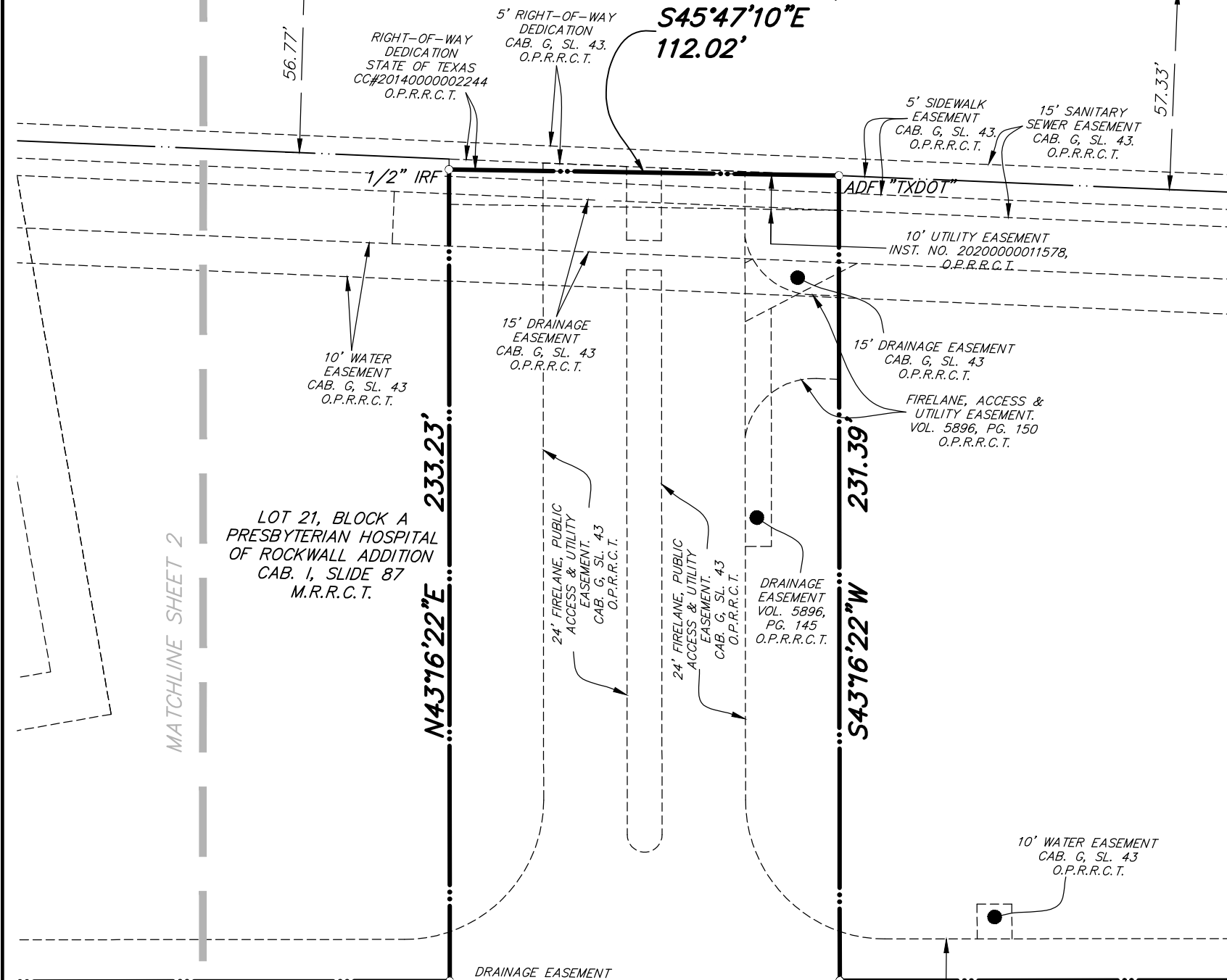
CASE NUMBER:

SHEET 2 OF 7

RECORDED	INST#	-	JOB NO.	1913.017	E-FILE	1913.017RP	DWG NO.	27,503Z
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HORIZON ROAD

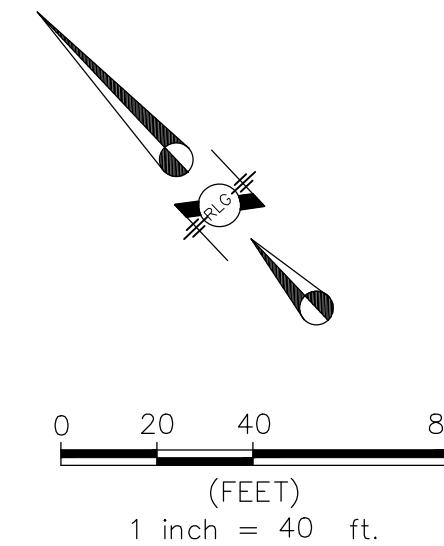
(F.M. ROAD NO. 3097)
(A VARIABLE WIDTH RIGHT-OF-WAY) CENTERLINE



VICINITY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- YDIRF 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "....." FOUND
- IRF IRON ROD FOUND
- CMS / CMF CHISELED "X" SET / FOUND
- (CM) CONTROLLING MONUMENT
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TX
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TX
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TX
- INST. NO. INSTRUMENT NUMBER
- VOL. VOLUME
- PG. PAGE
- CAB. CABINET
- SL. SLIDE



NOTES:

BASIS OF BEARINGS: BASIS OF BEARING: BEARINGS ARE BASED ON THE SOUTHWEST RIGHT-OF-WAY LINE OF HORIZON ROAD (SOUTH 45°46'04" EAST) AS SHOWN ON THE PLAT FOR PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITION RECORDED IN CABINET G, SLIDE 43, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, AS MONUMENTED ON THE GROUND

CONTROLLING MONUMENTS: AS SHOWN

LOT-TO-LOT DRAINAGE WILL NOT BE ALLOWED WITHOUT ENGINEERING SECTION APPROVAL.

EXISTING BUILDINGS TO REMAIN

SEE SHEET 1 OF 4 FOR LINE AND CURVE TABLES

IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54

THE SUBJECT TRACT IS DEPICTED WITHIN ZONE X ON THE FLOOD INSURANCE RATE MAP, MAP NO. 48397C0040L, DATED SEPTEMBER 26, 2008. ZONE X IS DEFINED THEREON AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

THE LOCATION OF THE FLOOD ZONE LINES SHOWN, IF ANY, WERE DETERMINED BY SCALING FROM SAID FEMA MAP. THE ACTUAL LOCATION AS DETERMINED BY ELEVATION CONTOURS MAY DIFFER. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR RAYMOND L. GOODSON JR., INC. AS A RESULT OF FLOODING.

**FINAL PLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION**

**LOT 25, BLOCK A
BEING A REPLAT**

**OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 24, BLOCK A
TOTAL 23.0927 ACRES**

**EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

SCALE: 1" = 40'

DATE: 01-15-2021

OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. GOODSON JR., INC.
12001 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-8100
rlg@rlginc.com
TX PE REG #P-493
TBPELS REG #100341-00

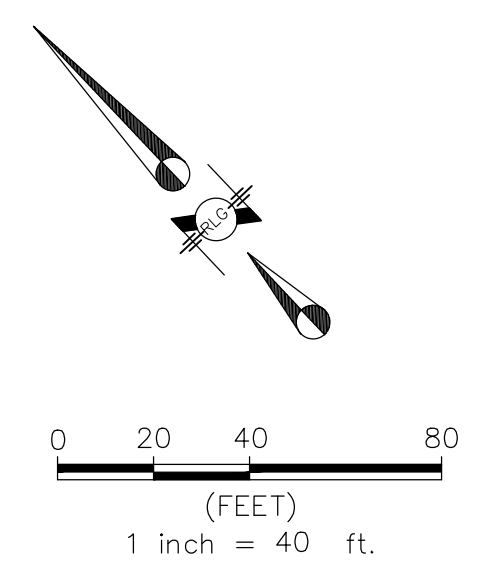
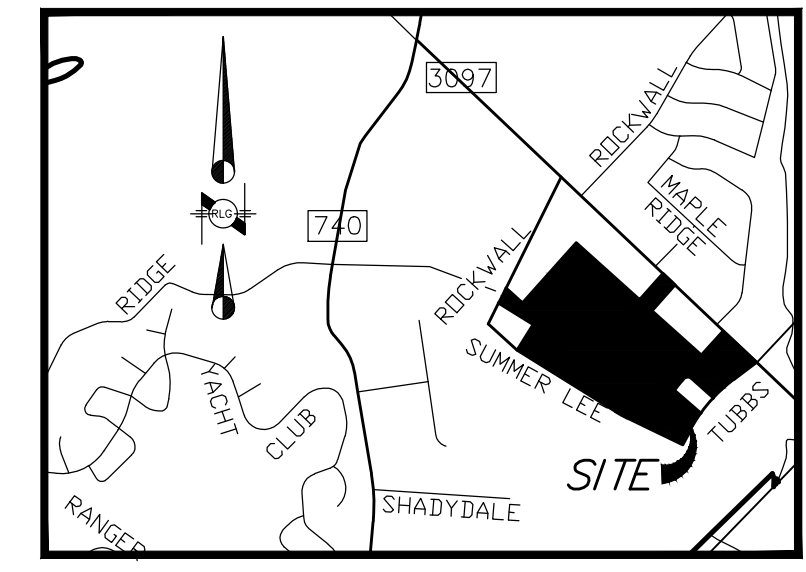
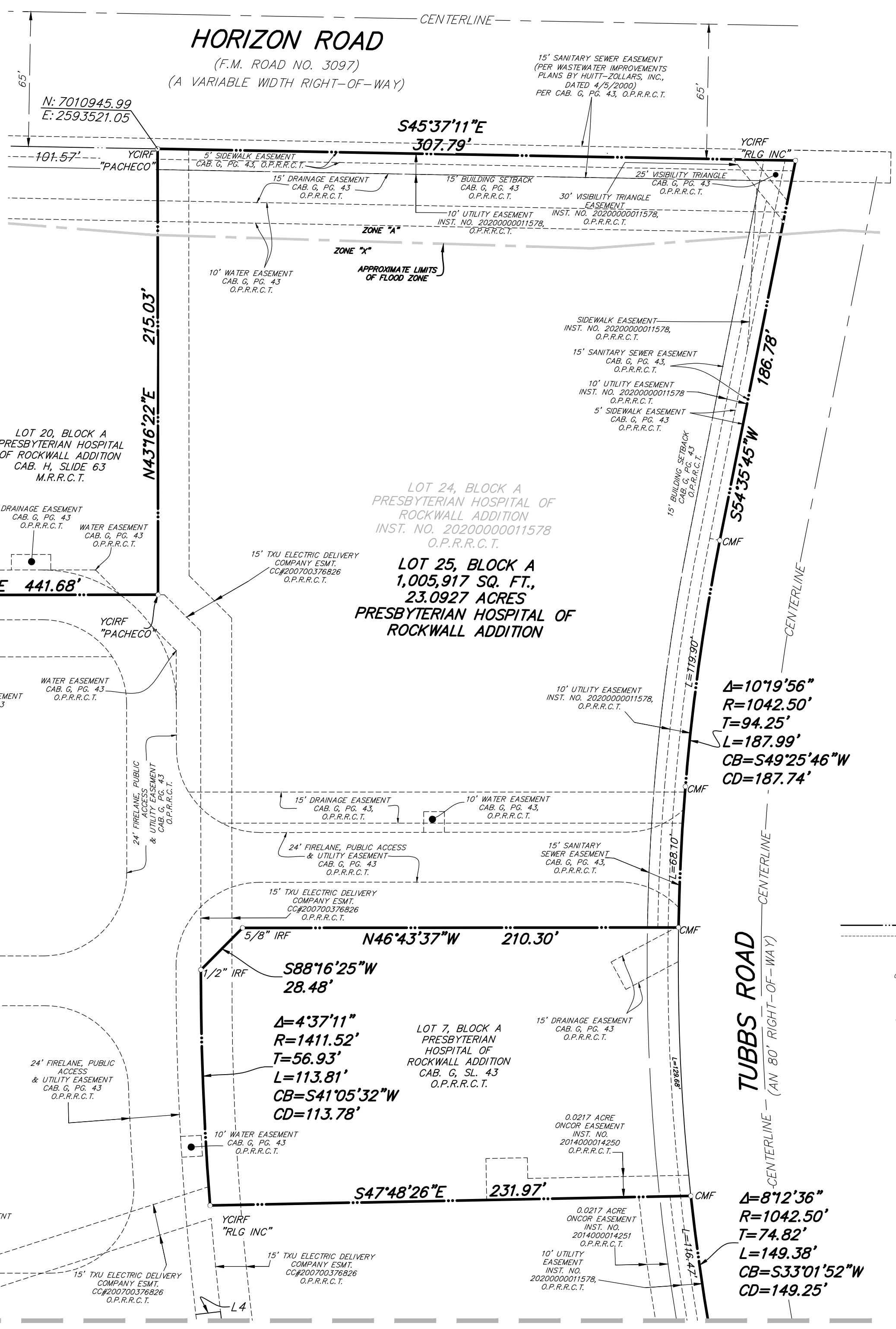
CASE NUMBER:

SHEET 3 OF 7

RECORDED	INST#	-	JOB NO.	1913.017	E-FILE	1913.017RP	DWG NO.	27,503Z
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TRACT 2
PARKING EASEMENT TRACT
VOL. 5428, PG. 305
R.P.R.R.C.T.
(SOLID HATCHED AREA)

15' TXU ELECTRIC DELIVERY
COMPANY ESMF
CC#200700376826
O.P.R.R.C.T.



VICINITY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- YCI RF 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED " " FOUND
- IRF IRON ROD FOUND
- CM / CMF CHISELED "X" SET / FOUND
- (CM) CONTROLLING MONUMENT
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TX
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TX
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TX
- INST. NO. INSTRUMENT NUMBER
- VOL. VOLUME
- PG. PAGE
- CAB. CABINET
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FINAL PLAT
 OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
 LOT 25, BLOCK A
 BEING A REPLAT
 OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
 LOT 24, BLOCK A
TOTAL 23.0927 ACRES
 EDWARD TEAL SURVEY, ABSTRACT NO. 207
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SCALE: 1" = 40'

DATE: 01-15-2021

OWNER:
 TEXAS HEALTH RESOURCES
 9330 AMBERTON PKWY., SUITE #1000
 DALLAS, TX 75243
 PHONE NUMBER
 C/O CINDY PERRIN

SURVEYOR:
 RAYMOND L. GOODSON JR., INC.
 12001 N. CENTRAL EXPRESSWAY, STE 300
 DALLAS, TX 75243
 214-739-8100
 rlj@rljinc.com
 TX PE REG #F-483
 TBPELS REG #100341-00

CASE NUMBER:

SHEET 4 OF 7

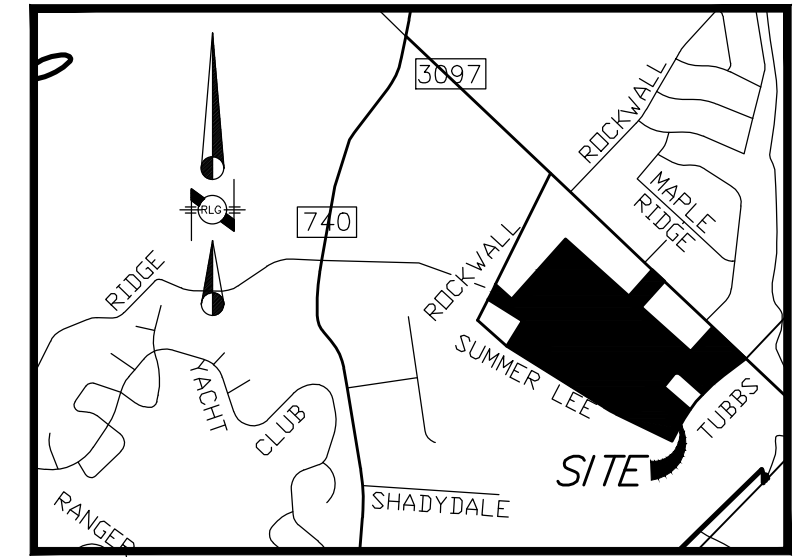
RECORDED	INST#	-	JOB NO.	1913.017	E-FILE	1913.017RP	DWG NO.	27,503Z
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MATCHLINE SHEET 3

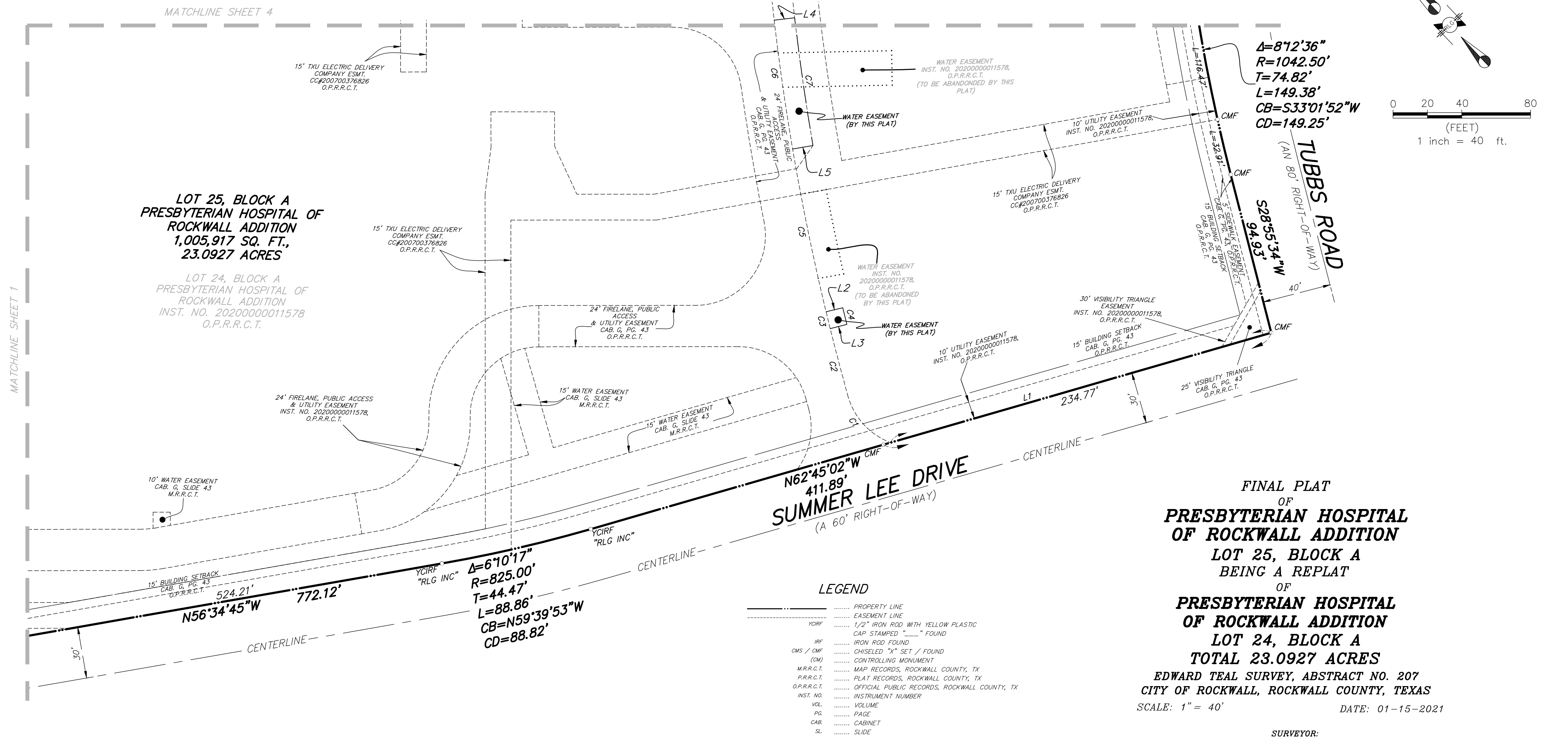
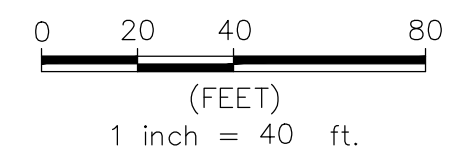
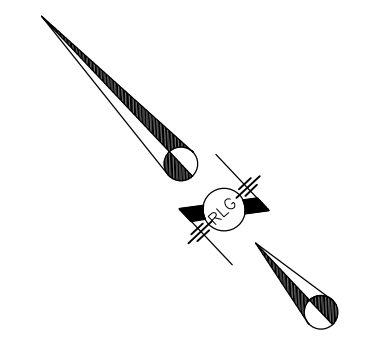
MATCHLINE SHEET 5

LINE TABLE		
LINE	BEARING	LENGTH
L1	N62°45'02"W	230.44'
L2	S60°14'09"E	10.00'
L3	N60°38'29"W	10.00'
L4	S53°18'17"E	12.00'
L5	N56°20'58"W	12.00'

CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CH. BRG.	CHORD
C1	53°49'59"	40.50'	20.56'	38.05'	N00°48'33"E	36.67'
C2	1°38'09"	1423.52'	20.32'	40.64'	N28°32'37"E	40.64'
C3	0°24'09"	1423.52'	5.00'	10.00'	N29°33'46"E	10.00'
C4	0°24'19"	1413.52'	5.00'	10.00'	S29°33'41"W	10.00'
C5	3°53'00"	1423.52'	48.26'	96.48'	N31°42'20"E	96.46'
C6	3°02'53"	1423.52'	37.87'	75.73'	N35°10'17"E	75.72'
C7	3°02'41"	1411.52'	37.51'	75.01'	S35°10'24"W	75.00'



VICINITY MAP
NOT TO SCALE



FINAL PLAT
OF
**PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION**
LOT 25, BLOCK A
BEING A REPLAT
OF
**PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION**
LOT 24, BLOCK A
TOTAL 23.0927 ACRES
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SCALE: 1" = 40' DATE: 01-15-2021

- LEGEND**
- PROPERTY LINE
 - EASEMENT LINE
 - YCIRF 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "____" FOUND
 - IRF IRON ROD FOUND
 - CMS / CMF CHISELED "X" SET / FOUND
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OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
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C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. GOODSON JR., INC.
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DALLAS, TX 75243
214-739-8100
rlg@rlginc.com
TX PE REG #P-493
TBPELS REG #100341-00

CASE NUMBER:

SHEET 5 OF 7

RECORDED	INST#	-	JOB NO.	1913.017	E-FILE	1913.017RP	DWG NO.	27,503Z
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STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas **Rockwall Regional Hospital, LLC**, is the sole owner of a tract of land situated in the Edward Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, being the same tract of land described in Deed of Trust to Rockwall Regional Hospital, LLC, recorded in Instrument Number 20190000019597, Official Public Records, Rockwall County, Texas, and being all of Lot 24, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in 20200000011578, Official Public Records, Rockwall County, Texas and being more particularly described as follows:

COMMENCING at a 3/8" iron rod found at the intersection of the northerly right-of-way line of Summer Lee Drive (a 60' right-of-way) and the easterly right-of-way line of Rockwall Parkway (a 60' right-of-way) being the west corner of Lot 9, Block A, Horizon Ridge Center Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet E, Slide 149, Map Records, Rockwall County, Texas;

THENCE along the easterly right-of-way line of said Rockwall Parkway, the following courses and distances:

North 33° 25' 38" East, along the north line of said Lot 9, a distance of 166.37 feet to a point for the beginning of a tangent curve to the left;

In a northerly direction along said curve to the left whose chord bears North 32° 22' 28" East a distance of 33.63 feet, having a radius of 915.00 feet, having a central angle of 02° 06' 22" and an arc length of 33.63 feet to a 1/2" iron rod with yellow plastic cap stamped "Pacheco" found for the north corner of said Lot 9 and an exterior ell corner of said Lot 24 for the **POINT OF BEGINNING**, and continuing on said curve to the left;

In a northerly direction along said curve to the left whose chord bears North 27° 49' 52" East a distance of 111.41 feet, having a radius of 915.00 feet, a central angle of 06° 58' 51" and an arc length of 111.48 feet to a 5/8" iron rod with plastic cap stamped "Pate Sc" found for an exterior ell corner of said Lot 24 and the west corner of Lot 17, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet G, Slide 315, Map Records, Rockwall County, Texas;

THENCE departing the easterly right-of-way line of said Rockwall Parkway and along the northerly line of said Lot 24, the following courses and distances:

South 46° 43' 37" East, along the southwesterly line of said Lot 17, a distance of 146.22 feet to a 5/8" iron rod with plastic cap stamped "Pate Sc" found for the south corner of said Lot 17 and an exterior ell corner of said Lot 24;

North 43° 16' 22" East, along the southeasterly line of said Lot 17, passing at a distance of 127.65 feet a 5/8" iron rod with plastic cap stamped "Pate Sc" found for the east corner of said Lot 17 and the south corner of Lot 16, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 315), continuing along the southeasterly line of said Lot 16 passing at a distance of 154.96 a 1/2" iron rod with red plastic cap stamped "RPLS 48" found for the east corner of said Lot 16 and the south corner of Lot 19, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 315), continuing along the southeasterly line of said Lot 19 for a total distance of 536.58 feet to a chiseled "X" in concrete found on the southwest line of Lot 18, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat recorded in Cabinet G, Slide 297, Map Records, Rockwall County, Texas for the most easterly east corner of said Lot 19, the north corner of said Lot 24;

South 46° 43' 37" East, along the southwesterly line of said Lot 18, passing a chiseled "X" in concrete found at a distance of 220.15 feet for the south corner of said Lot 18 and the west corner of Lot 21, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet I, Slide 87, Map Records, Rockwall County, Texas, continuing along the southwesterly line of said Lot 21 to a chiseled "X" in concrete found for a total distance of 566.96 feet for the south corner of said Lot 21 and an interior ell corner of said Lot 24;

North 43° 16' 22" East, along the southeasterly line of said Lot 21, a distance of 233.23 feet to a 1/2" iron rod found on the southwesterly right-of-way line of Horizon Road (a variable width right-of-way) for the east corner of said Lot 21 and the most northerly northeast corner of said Lot 24;

THENCE South 45° 47' 10" East, along the southwesterly right-of-way line of said Horizon Road, a distance of 112.02 feet to an Aluminum Disk Found stamped "TXDOT" found for the most easterly northeast corner of said Lot 24 and the north corner of Lot 20, Block A, Presbyterian Hospital of Rockwall Addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet H, Slide 63, Map Records, Rockwall County, Texas;

THENCE along the common line between said Lot 24 and said Lot 20, the following courses and distances:

South 43° 16' 22" West, a distance of 231.39 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for an interior ell corner of said Lot 24 and the west corner of said Lot 20;

South 46° 43' 37" East, a distance of 441.68 feet to a 1/2" iron rod with yellow plastic cap stamped "Pacheco" found for the south corner of said Lot 20 and an interior ell corner of said Lot 24;

North 43° 16' 22" East, a distance of 215.03 feet to a 1/2" iron rod with yellow plastic cap stamped "Pacheco" found on the southwesterly line of said Horizon Road, for the east corner of said Lot 20 and exterior corner of said Lot 24;

THENCE South 45° 37' 11" East, along the southwesterly right-of-way line of said Horizon Road, a distance of 307.79 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found at the intersection of the southwesterly right-of-way line of said Horizon Road and the northerly right-of-way of Tubbs Road (an 80-foot right-of-way), for the east corner of said Lot 24,

THENCE along the northerly right-of-way of said Tubbs Road, the following courses and distances:

South 54° 35' 45" West, a distance of 186.78 feet to a chiseled "X" in concrete found for the beginning of a tangent curve to the left;

In a southwesterly direction along said curve to the left whose chord bears South 49° 25' 46" West a distance of 187.74 feet, having a radius of 1042.50, a central angle of 10° 19' 56", passing a chiseled "X" in concrete found at an arc length of 119.90 feet, continuing along said curve to a chiseled "X" in concrete found for a total arc length of 187.99 feet to an exterior ell corner of Lot 24 and the east corner of Lot 7, Block A, of said Presbyterian Hospital of Rockwall Addition (Cabinet G, Slide 43);

THENCE departing the northerly right-of-way line of said Tubbs Road and along a southeasterly line of said Lot 24, the following courses and distances:

North 46° 43' 37" West, along the northeasterly line of said Lot 7, a distance of 210.30 feet to a 5/8" iron rod found for corner;

South 88° 16' 25" West, along the north line of said Lot 7, a distance of 28.48 feet to a 1/2" iron rod found for the beginning of a non-tangent curve to the left;

In a southwesterly direction along the northwesterly line of said Lot 7 and said curve to the left whose chord bears South 41° 05' 32" West a distance of 113.78 feet, having a radius of 1411.52 feet, a central angle of 04° 17' 11", and an arc length of 113.81 feet a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for a southeasterly corner of said Lot 24 and the west corner of said Lot 7;

THENCE South 47° 48' 26" East, along the common line between said Lot 7 and said Lot 24, a distance of 231.97 feet to a chiseled "X" in concrete found on the northerly right-of-way line of said Tubbs Road, for the east corner of said Lot 24 and the south corner of said Lot 7, and for the beginning of a non-tangent curve to the left;

THENCE along the northerly right-of-way line of said Tubbs Road, the following courses and distances:

In a southwesterly direction along said non-tangent curve to the left whose chord bears South 33° 01' 52" West a distance of 149.25 feet, having a radius of 1042.50 feet, a central angle of 08° 12' 36", passing at an arc length of 116.47 feet a chiseled "X" in concrete found for a south corner of said Lot 24, and continuing along said curve for a total arc length of 149.38 feet to a chiseled "X" in concrete found for a southeasterly corner of said Lot 24 and the end of said non-tangent curve to the left;

South 28° 55' 34" West, a distance of 94.93 feet to a chiseled "X" in concrete found at the intersection of the northerly right-of-way line of said Tubbs Road and the northeasterly right-of-way line of Summer Lee Drive (a 60-foot right-of-way), for the south corner of said Lot 24;

THENCE along the northeasterly right-of-way line of said Summer Lee Drive, the following courses and distances:

North 62° 45' 02" West, passing at a distance of 234.77 feet a chiseled "X" in concrete found for a south corner of said Lot 24, continuing for a total distance of 411.89 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the beginning of a non-tangent curve to the right;

In a northwesterly direction along said curve to the right whose chord bears North 59° 39' 53" West a distance of 88.82 feet, having a radius of 825.00 feet, a central angle of 06° 10' 17" and an arc length of 88.86 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the end of said curve to the right;

North 56° 34' 45" West, passing at a distance of 524.21 feet a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found and continuing for a total distance of 772.12 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found for the west corner of said Lot 24;

THENCE North 33° 25' 38" East, departing the northeasterly right-of-way line of said Summer Lee Drive and along the common line between said Lot 12 and said Lot 24, passing at a distance of 169.05 feet a 1/2" iron rod with yellow plastic cap stamped "RLG INC" found and continuing for a total distance of 200.00 feet to a chiseled "X" in concrete found for the east corner of said Lot 9, Block A, Horizon Ridge Center, and an interior ell corner of said Lot 24;

THENCE North 56° 34' 45" West, along the common line between said Lot 24 and said Lot 9, Block A, of said Horizon Ridge Center, a distance of 270.62 feet to the **POINT OF BEGINNING**, containing 1,005,917 square feet or 23.0927 acres, more or less.

FINAL PLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 25, BLOCK A
BEING A REPLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 24, BLOCK A
TOTAL 23.0927 ACRES

EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SCALE: 1" = 40'

DATE: 01-15-2021

OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. GOODSON JR., INC.
12001 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-8100
rlg@rlginc.com
TX PE REG #P-493
TBPELS REG #100341-00

CASE NUMBER:

SHEET 6 OF 7

RECORDED	INST#	-	JOB NO.	1913.017	E-FILE	1913.017RP	DWG NO.	27,503Z
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STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITION** subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Property Owner Signature

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared **ROCKWALL REGIONAL HOSPITAL, LLC**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian R. Wade, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

BRIAN R. WADE, RPLS NO. 6098

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared **ROCKWALL REGIONAL HOSPITAL, LLC**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS:

Mayor, City of Rockwall

DATE

City Secretary

DATE

City Engineer

DATE

Planning & Zoning Commission, Chairman

Date

FINAL PLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 25, BLOCK A
BEING A REPLAT
OF
PRESBYTERIAN HOSPITAL
OF ROCKWALL ADDITION
LOT 24, BLOCK A
TOTAL 23.0927 ACRES

EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SCALE: 1" = 40'

DATE: 01-15-2021

OWNER:
TEXAS HEALTH RESOURCES
9330 AMBERTON PKWY., SUITE #1000
DALLAS, TX 75243
PHONE NUMBER
C/O CINDY PERRIN

SURVEYOR:
RAYMOND L. GOODSON JR., INC.
12001 N. CENTRAL EXPRESSWAY, STE 300
DALLAS, TX 75243
214-739-8100
rlg@rlginc.com
TX PE REG #F-493
TBPELS REG #100341-00

CASE NUMBER:

SHEET 7 OF 7

RECORDED	INST#	-	JOB NO.	1913.017	E-FILE	1913.017RP	DWG NO.	27,503Z
----------	-------	---	---------	----------	--------	------------	---------	---------

Parcel Map Check Report

Client:
Client
Client Company
Address 1
Date: 4/15/2021 2:23:00 PM

Prepared by:
Preparer
Your Company Name
123 Main Street

Parcel Name: Site 1 - ~SURVEY : 1
Description:
Process segment order counterclockwise: False
Enable mapcheck across chord: False

North: 7,010,361.158395' East: 2,590,301.002611'

Segment# 1: Curve

Length: 111.48' Radius: 915.00'
Delta: 6°58'51" Tangent: 55.81'
Chord: 111.41' Course: N27°49'52"E
Course In: N58°40'43"W Course Out: S65°39'34"E
RP North: 7,010,836.810212' East: 2,589,519.350291'
End North: 7,010,459.684386' East: 2,590,353.017558'

Segment# 2: Line

Course: S46°43'37"E Length: 146.22'
North: 7,010,359.454081' East: 2,590,459.479638'

Segment# 3: Line

Course: N43°16'22"E Length: 536.58'
North: 7,010,750.137185' East: 2,590,827.290471'

Segment# 4: Line

Course: S46°43'37"E Length: 566.96'
North: 7,010,361.499696' East: 2,591,240.091323'

Segment# 5: Line

Course: N43°16'22"E Length: 233.23'
North: 7,010,531.314114' East: 2,591,399.964074'

Segment# 6: Line

Course: S45°47'10"E Length: 112.02'
North: 7,010,453.198214' East: 2,591,480.253467'

Segment# 7: Line

Course: S43°16'22"W Length: 231.39'
North: 7,010,284.723498' East: 2,591,321.641986'

Segment# 8: Line

Course: S46°43'37"E Length: 441.68'
North: 7,009,981.962446' East: 2,591,643.227072'

Segment# 9: Line

Course: N43°16'22"E Length: 215.03'
North: 7,010,138.525471' East: 2,591,790.624223'

Segment# 10: Line

Course: S45°37'11"E Length: 307.79'
North: 7,009,923.251800' East: 2,592,010.605883'

Segment# 11: Line

Course: S54°35'45"W Length: 186.78'
North: 7,009,815.042591' East: 2,591,858.364182'

Segment# 12: Curve

Length: 187.99'	Radius: 1,042.50'
Delta: 10°19'56"	Tangent: 94.25'
Chord: 187.74'	Course: S49°25'46"W
Course In: S35°24'16"E	Course Out: N45°44'12"W
RP North: 7,008,965.318711'	East: 2,592,462.330720'
End North: 7,009,692.939021'	East: 2,591,715.755248'
Segment# 13: Line	
Course: N46°43'37"W	Length: 210.30'
North: 7,009,837.094630'	East: 2,591,562.636828'
Segment# 14: Line	
Course: S88°16'25"W	Length: 28.49'
North: 7,009,836.236323'	East: 2,591,534.159760'
Segment# 15: Curve	
Length: 113.81'	Radius: 1,411.52'
Delta: 4°37'11"	Tangent: 56.93'
Chord: 113.78'	Course: S41°05'32"W
Course In: S46°35'53"E	Course Out: N51°13'04"W
RP North: 7,008,866.363755'	East: 2,592,559.701526'
End North: 7,009,750.486200'	East: 2,591,459.376023'
Segment# 16: Line	
Course: S47°48'26"E	Length: 231.97'
North: 7,009,594.688837'	East: 2,591,631.240105'
Segment# 17: Curve	
Length: 149.38'	Radius: 1,042.50'
Delta: 8°12'36"	Tangent: 74.82'
Chord: 149.25'	Course: S33°01'52"W
Course In: S52°51'50"E	Course Out: N61°04'26"W
RP North: 7,008,965.320587'	East: 2,592,462.324851'
End North: 7,009,469.558347'	East: 2,591,549.882781'
Segment# 18: Line	
Course: S28°55'34"W	Length: 94.93'
North: 7,009,386.471415'	East: 2,591,503.966915'
Segment# 19: Line	
Course: N62°45'02"W	Length: 234.77'
North: 7,009,493.964451'	East: 2,591,295.251318'
Segment# 20: Line	
Course: N62°45'02"W	Length: 177.12'
North: 7,009,575.061552'	East: 2,591,137.787816'
Segment# 21: Curve	
Length: 88.86'	Radius: 825.00'
Delta: 6°10'17"	Tangent: 44.47'
Chord: 88.82'	Course: N59°39'53"W
Course In: N27°14'58"E	Course Out: S33°25'15"W
RP North: 7,010,308.504356'	East: 2,591,515.526684'
End North: 7,009,619.920047'	East: 2,591,061.129667'
Segment# 22: Line	
Course: N56°34'45"W	Length: 772.12'
North: 7,010,045.191592'	East: 2,590,416.681525'
Segment# 23: Line	
Course: N33°25'38"E	Length: 200.00'
North: 7,010,212.108837'	East: 2,590,526.856991'

Segment# 24: Line

Course: N56°34'45"W

North: 7,010,361.162074'

Length: 270.62'

East: 2,590,300.984645'

Perimeter: 5,849.54'

Error Closure: 0.018340

Error North : 0.0036790

Area: 1,005,917Sq.Ft.

Course: N78°25'40"W

East: -0.0179668

Precision 1: 318,948.75



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 27, 2021
APPLICANT: Jonathan Stites; *Seefried Industrial Properties*
CASE NUMBER: P2021-018; *Final Plat for Lots 1-3, Block A, DDF9 Addition*

SUMMARY

Consider a request by Jonathan Stites of Seefried Industrial Properties on behalf of Amazon.com Services, LLC for the approval of a Final Plat for Lot 1-3, Block A, DDF9 Addition being a 90.68-acre tract of land identified as Tracts 20 & 20-1 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located at the southwest corner of Justin Road and Industrial Boulevard, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a final plat for a 90.68-acre tract of land (*i.e. Lots 1-3, Block A, DDF9 Addition*) in order to subdivide two (2) tracts of land (*i.e. Tracts 20 & 20-1 of the A. Hanna Survey, Abstract No. 99*) into three (3) lots (*i.e. Lots 1-3, Block A, DDF9 Addition*) for purpose of conveying the subject property. Additionally, the final plat indicates the dedication of right-of-way for a portion of Justin Road (*i.e. 1.5454-acres*), which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Staff should note that the site will not be developed and no permits will be issued without first having approved civil engineering plans and a replat of the property in accordance with the development procedures outlined in the Municipal Code of Ordinances and the Unified Development Code (UDC).
- On March 9, 2021, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2021-002*] for a 220,800 SF a Warehouse/Distribution Center on a 71.022-acre portion of Tract 20-1 of the A. Hanna Survey, Abstract No. 99 (*i.e. Lot 2, Block A, DDF9 Addition*).
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lots 1-3, Block A, DDF9 Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/22/2021

PROJECT NUMBER: P2021-018
PROJECT NAME: Lots 1-3, Block A, DDF9 Addition
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Jonathan Stites of Seefried Industrial Properties on behalf of Amazon.com Services, LLC for the approval of a Final Plat for Lot 1-3, Block A, DDF9 Addition being a 90.68-acre tract of land identified as Tract 20 & 20-1 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located at the southwest corner of Justin Road and Industrial Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	04/21/2021	Approved w/ Comments

04/21/2021: P2021-018; Conveyance Plat for Lots 1-3, Block A, DDF9 Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lot 1-3, Block A, DDF9 Addition being a 71.022-acre tract of land identified as Tract 20-1 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located at the southwest corner of Justin Road and Industrial Boulevard.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2021-018) in the lower right-hand corner of all pages on future submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Tie at least two (2) corners to city monumentation. [Chapter 38, Municipal Code of Ordinances]

M.6 Page 5; Use the Standard City Signature Block (i.e. Mayor, City Secretary, and City Engineer) for this plat.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to submittal on mylar for filing.

M.8 Please provide one (1) hard copy and a PDF/electronic version for review by staff.

I.9 Please note the scheduled meetings for this case:

(1) Planning & Zoning work session meeting will be held on April 27, 2021.

(2) City Council Public Hearing will be held on May 3, 2021.

I.10 Although this agenda item is on the consent agenda, staff recommends that a representative be present for all meetings as indicated above. The meetings are scheduled to begin at 6:00 PM in the City Council Chambers.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - Label Floodplain X-sections and 100-YR Fully developed WSEL for each section. (See markup)

M - Must show the Existing Drainage Easement for the floodplain.

M - Must show the Existing Drainage Easement for the Townsend drainage system.

M - Must show the 10' Utility Easement off of Industrial Blvd.

M - Show the NTMWD Easement off of Industrial.

M - Must show 15' Utility Easement (Cab C, Slide 186)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/21/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	04/22/2021	N/A

No Comments

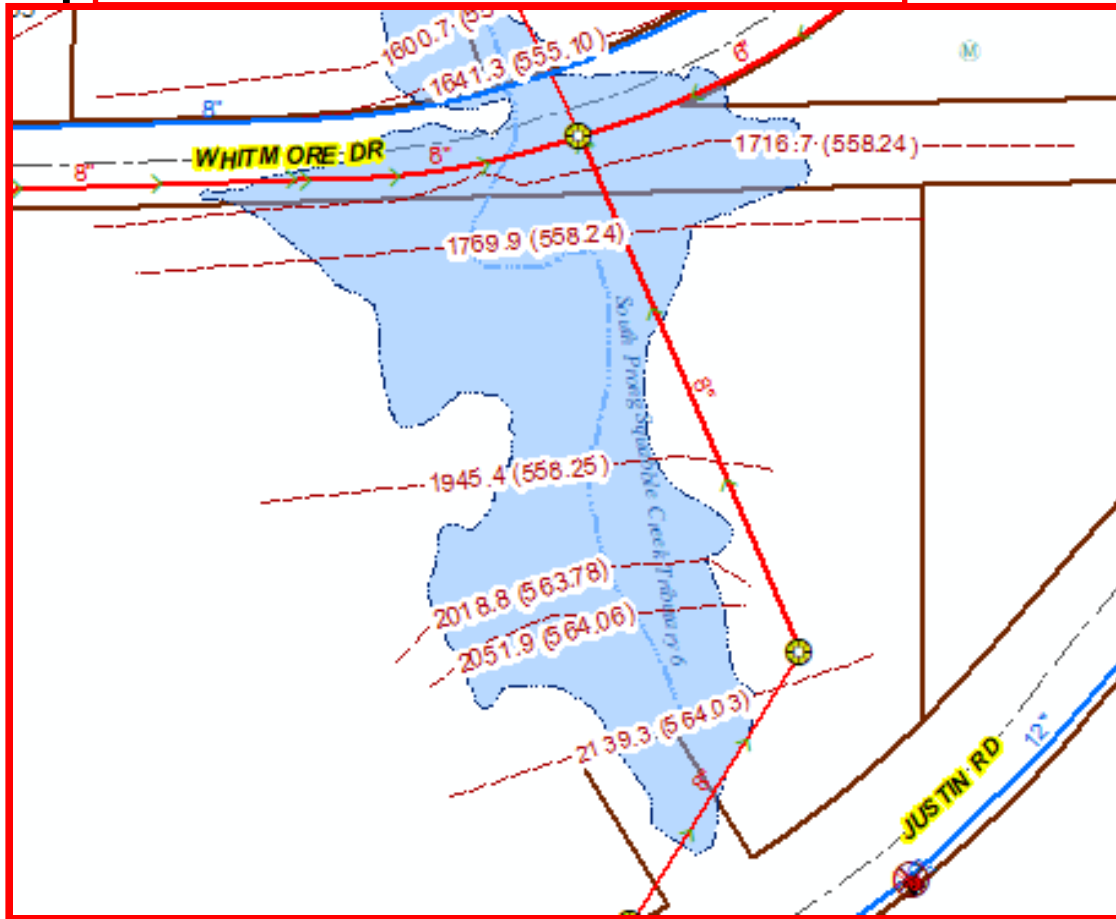
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

04/19/2021: No comments

Label Floodplain X-sections and 100-YR Fully developed WSEL for each section. (See image)

WHITMORE DRIVE

(A 60-FOOT PUBLIC RIGHT-OF-WAY - CAB. A, SLD. 326 - FORMERLY KNOWN AS MUNICIPAL INDUSTRIAL DRIVE)



14' RIGHT-OF-WAY
CITY OF ROCKWALL
VOL. 137, PG. 683
D.R.R.C.T.

PHIC LOCATION OF APPROXIMATE 100 YEAR
FLOODPLAIN PER FEMA MAP NO. 48397C0040L
MAP REVISED SEPTEMBER 26, 2008.
(ZONE A)

PART OF A CALLED
99.958 ACRE
"TRACT 1"
NAN A. SMARTT, W. I.
LOFLAND AND JULIA BOND
VOL. 70, PG. 183
D.R.R.C.T.

LOT 1, BLOCK A
14.1563 ACRES
616,649 SQ. FT.

35.05
 $\Delta=7^{\circ}09'26''$
R=467.50'
L=58.40'
CB=N2°09'37"W
C=58.36'
N17°38'15"W
96.17'

N89°54'06"E
153.27'

FRANCIS HENDERSON SURVEY,
ABSTRACT NO. 99

ARCHIBALD HANNA SURVEY,
ABSTRACT NO. 99

JUSTIN ROAD

(A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

22°17'50"E 416.38'

JUSTIN ROAD

(A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

42.5'
42.5'

N89°06'00"E
666.65'

89'

RIGHT-OF-WAY
DEDICATION
INST. NO. 2007-00369618
O.P.R.R.C.T.
VOL. 4890, PG. 36
D.R.R.C.T.

F
(LOT 2,

CB=S

S37°58'17"W
77.5'

PART OF A CALLED
99.958 ACRE
"TRACT 1"
NAN A. SMARTT, W. I.
LOFLAND AND JULIA BOND
VOL. 70, PG. 183
D.R.R.C.T.

$\Delta=39^{\circ}00'09''$
R=332.50'
L=226.34'
CB=S18°28'21"W
C=222.00'

LOT 2, BLOCK A
71.9480 ACRES
3,134,054 SQ. FT.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2021-018

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Justin Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION Southwest corner of Justin Rd and Industrial Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE Vacant

PROPOSED ZONING LI

PROPOSED USE Distribution Center

ACREAGE 90.68

LOTS [CURRENT] 1

LOTS [PROPOSED] 3

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Amazon.com Services LLC.

APPLICANT Seefried Industrial Properties

CONTACT PERSON Real Estate Manager

CONTACT PERSON Jonathan Stites

ADDRESS 410 Terry Ave. N.

ADDRESS 3030 LBJ Freeway, Suite 1650

CITY, STATE & ZIP Seattle, WA 98109-5210

CITY, STATE & ZIP Dallas, TX 75234

PHONE 206-266-1000

PHONE 214-393-6066

E-MAIL na-realestate@amazon.com

E-MAIL jonathanstites@seefriedproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jonathan Stites ^{Owner's Representative} ~~OWNER~~ THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE ^{Owner's Representative} ~~OWNER~~ FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$2,120.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

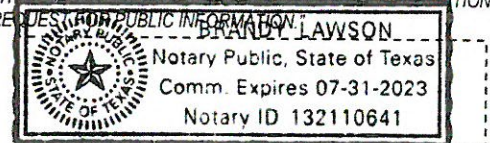
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6th DAY OF April, 2021.

OWNER'S SIGNATURE

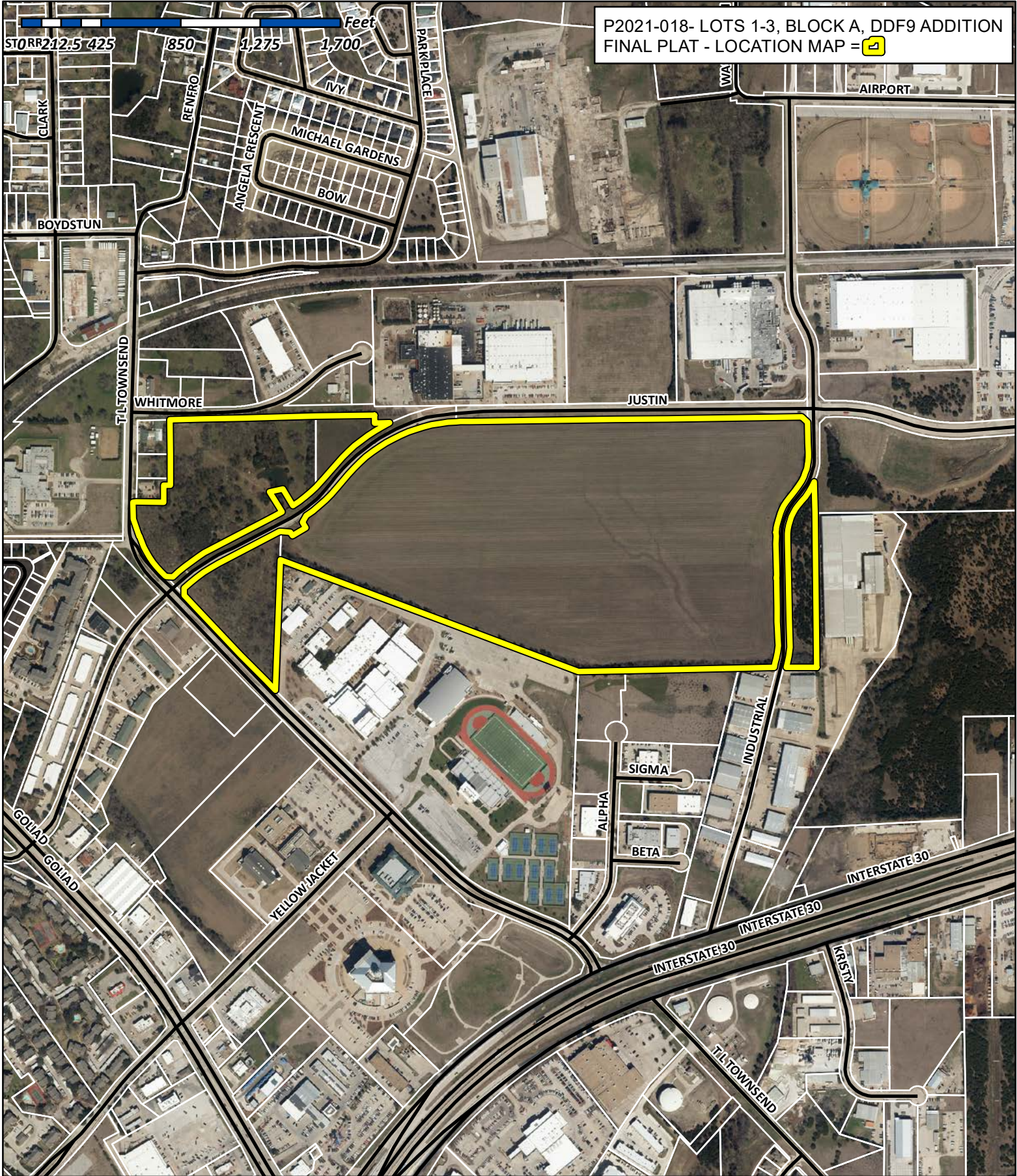
Jonathan Stites


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Brandy Lawson



MY COMMISSION EXPIRES 07/31/2023



P2021-018- LOTS 1-3, BLOCK A, DDF9 ADDITION
 FINAL PLAT - LOCATION MAP = 

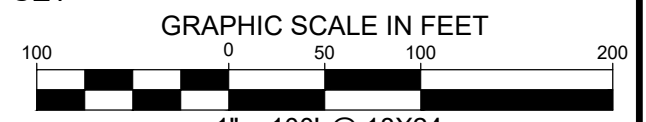
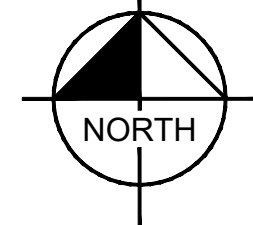
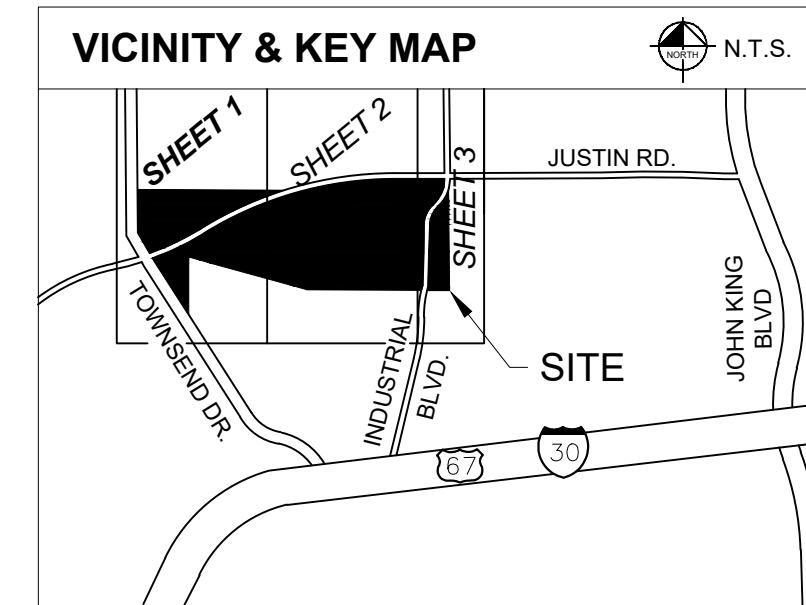


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





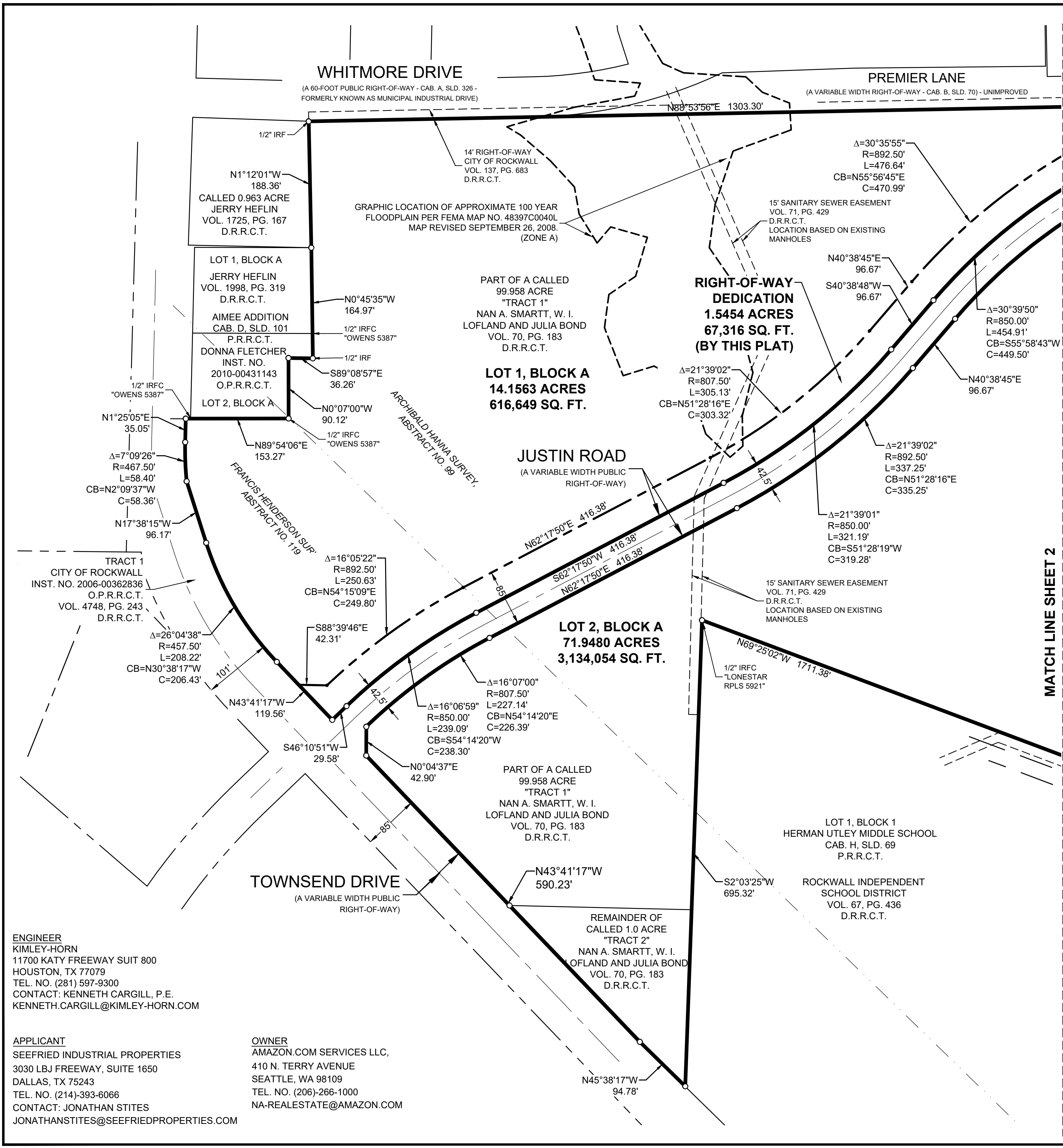
LEGEND:

- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRFC = IRON ROD W/CAP FOUND
- IRF = IRON ROD FOUND
- IPF = IRON PIPE FOUND
- XF = "X" CUT IN CONCRETE FOUND
- O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- D.E. = DRAINAGE EASEMENT
- E.E. = ELECTRIC EASEMENT
- F.L.A.U.E. = FIRE LANE, ACCESS AND UTILITY EASEMENT
- S.S.E. = SANITARY SEWER EASEMENT
- W.E. = WATER EASEMENT

NOTES:

1. This Final Plat is for conveyance purposes only and not for the development of the subject property.
2. A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.
3. All Property Corners are 5/8-inch iron rod with plastic cap stamped "KHA" found unless otherwise noted here.
4. The Bearings and Coordinates shown hereon are grid values of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983(2011).
5. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements, if any.

MATCH LINE SHEET 2



**FINAL PLAT
BEING A CONVEYANCE PLAT FOR
DDF9 ADDITION
LOTS 1-3, BLOCK A
ARCHIBALD HANNA SURVEY,
ABSTRACT NO. 99
FRANCIS HENDERSON SURVEY,
ABSTRACT NO. 119
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. 2021-_____**

ENGINEER
KIMLEY-HORN
11700 KATY FREEWAY SUITE 800
HOUSTON, TX 77079
TEL. NO. (281) 597-9300
CONTACT: KENNETH CARGILL, P.E.
KENNETH.CARGILL@KIMLEY-HORN.COM

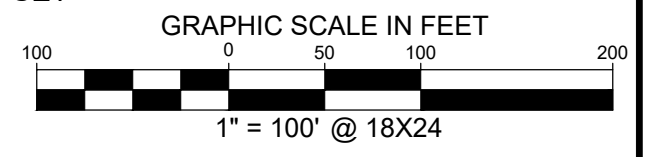
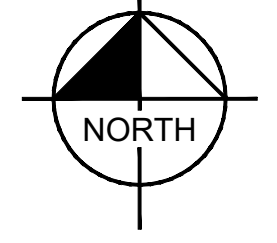
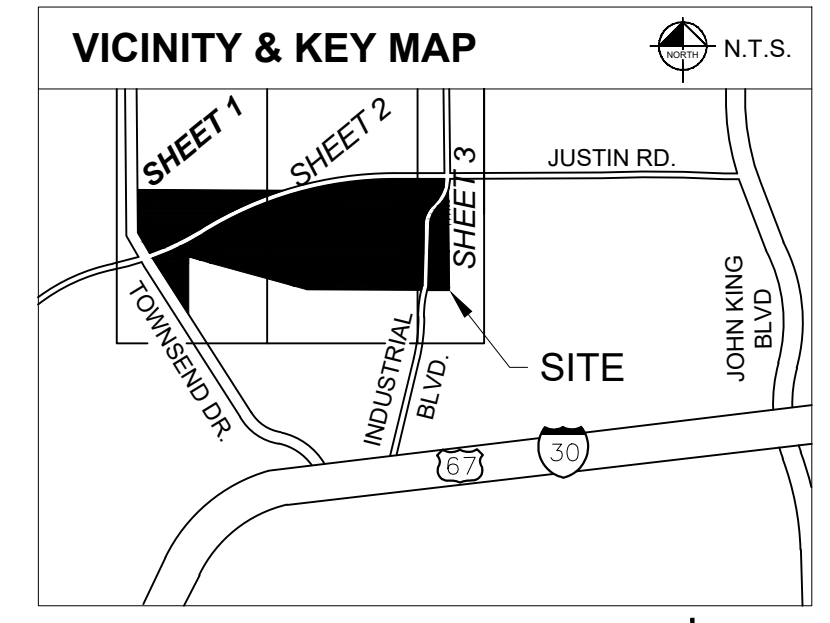
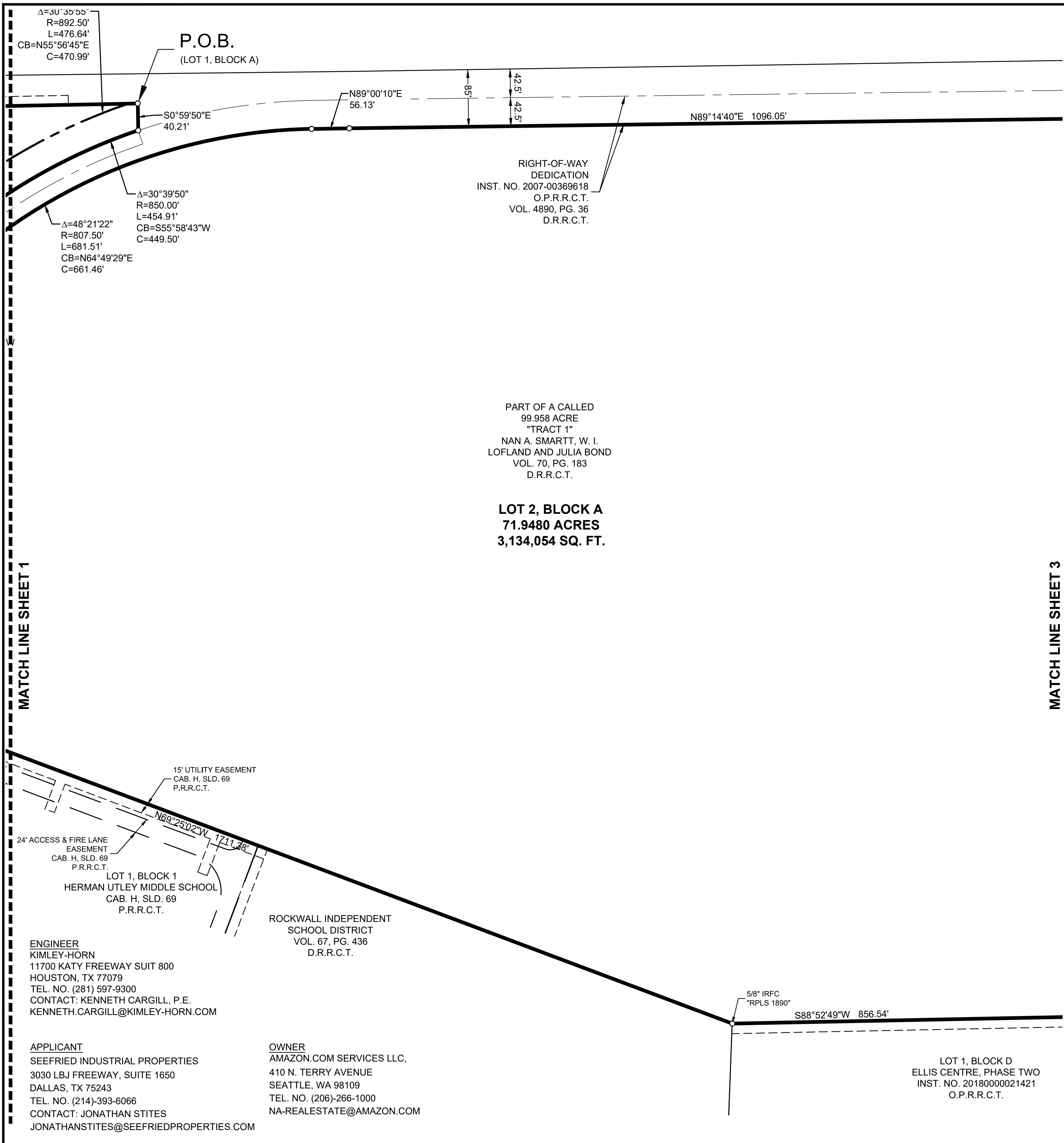
APPLICANT
SEEFRIED INDUSTRIAL PROPERTIES
3030 LBJ FREEWAY, SUITE 1650
DALLAS, TX 75243
TEL. NO. (214)-393-6066
CONTACT: JONATHAN STITES
JONATHANSTITES@SEEFRIEDPROPERTIES.COM

OWNER
AMAZON.COM SERVICES LLC,
410 N. TERRY AVENUE
SEATTLE, WA 98109
TEL. NO. (206)-266-1000
NA-REALESTATE@AMAZON.COM

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3820

Scale 1" = 100'	Drawn by DWP	Checked by DJD	Date APRIL 2021	Project No. 069284835	Sheet No. 1 OF 5
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LEGEND:

- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRFC = IRON ROD W/CAP FOUND
- IRF = IRON ROD FOUND
- IPF = IRON PIPE FOUND
- XF = "X" CUT IN CONCRETE FOUND
- O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- D.E. = DRAINAGE EASEMENT
- E.E. = ELECTRIC EASEMENT
- F.L.A.U.E. = FIRE LANE, ACCESS AND UTILITY EASEMENT
- S.S.E. = SANITARY SEWER EASEMENT
- W.E. = WATER EASEMENT

NOTES:

1. This Final Plat is for conveyance purposes only and not for the development of the subject property.
2. A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.
3. All Property Corners are 5/8-inch iron rod with plastic cap stamped "KHA" found unless otherwise noted here.
4. The Bearings and Coordinates shown hereon are grid values of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983(2011).
5. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements, if any.

FINAL PLAT
BEING A CONVEYANCE PLAT FOR
DDF9 ADDITION
LOTS 1-3, BLOCK A
ARCHIBALD HANNA SURVEY,
ABSTRACT NO. 99
FRANCIS HENDERSON SURVEY,
ABSTRACT NO. 119
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. 2021-_____

Kimley»Horn

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Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	DWP	DJD	APRIL 2021	069284835	2 OF 5

MATCH LINE SHEET 1

MATCH LINE SHEET 3

RIGHT-OF-WAY DEDICATION
 INST. NO. 2007-00369618
 O.P.R.R.C.T.
 VOL. 4890, PG. 36
 D.R.R.C.T.

PART OF A CALLED
 99.958 ACRE
 "TRACT 1"
 NAN A. SMARTT, W. I.
 LOFLAND AND JULIA BOND
 VOL. 70, PG. 183
 D.R.R.C.T.

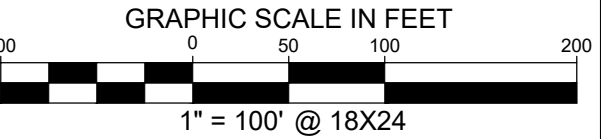
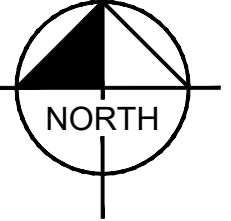
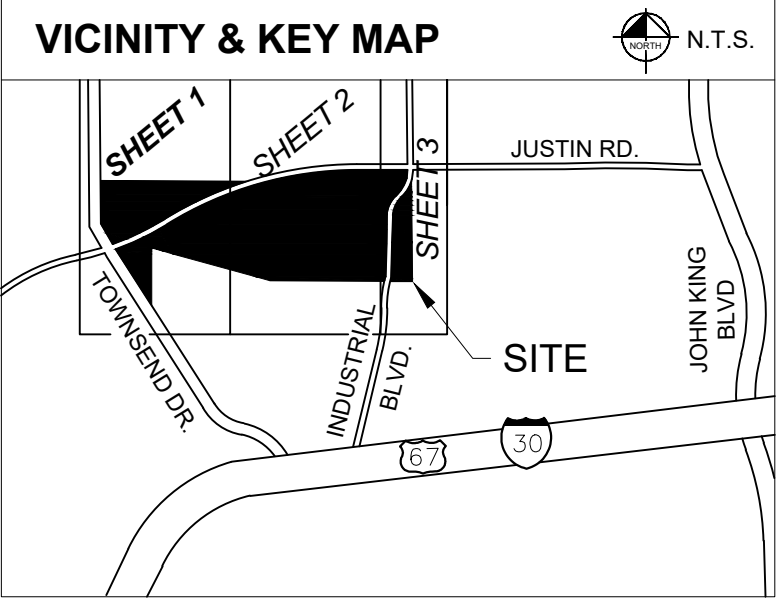
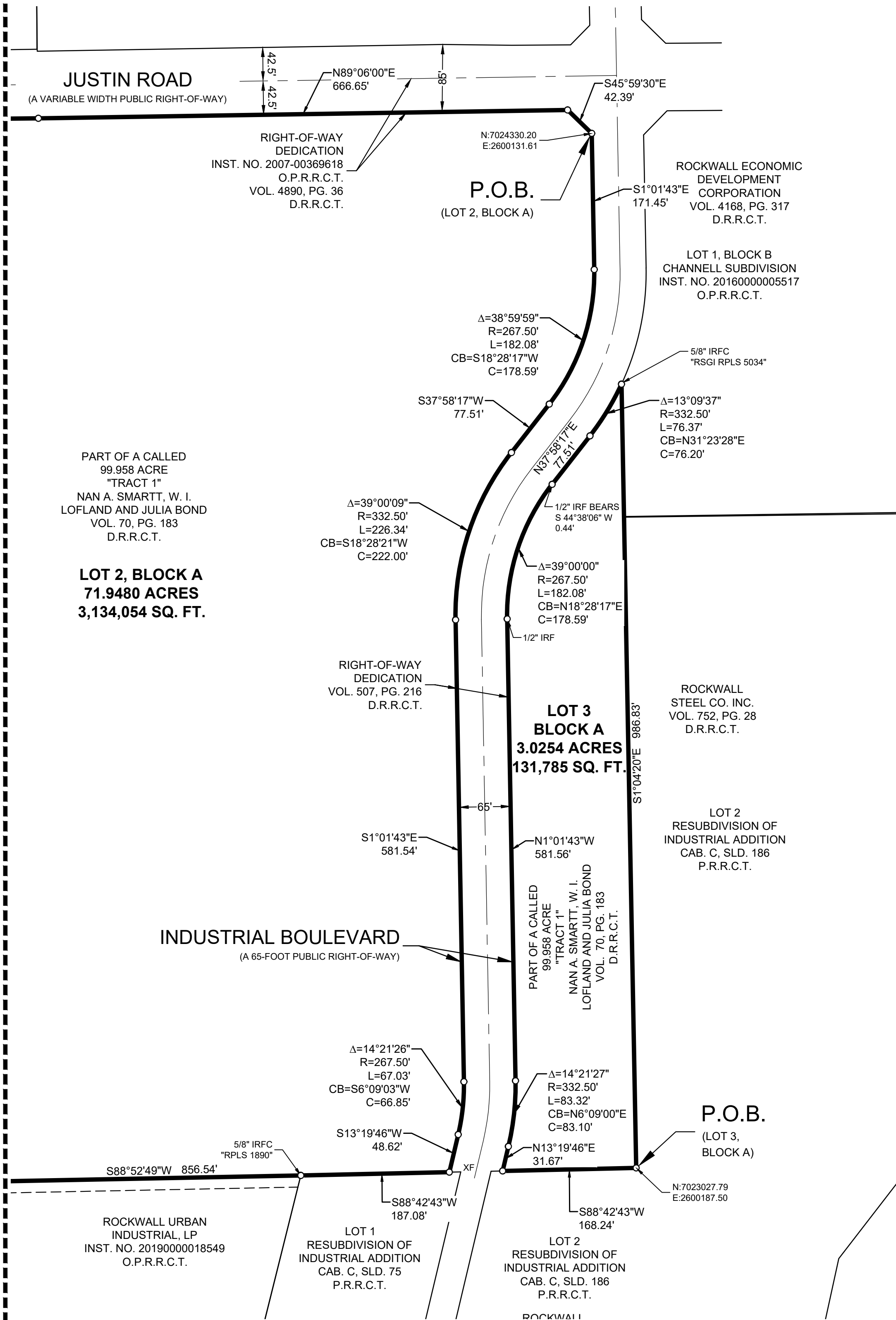
LOT 2, BLOCK A
71.9480 ACRES
3,134,054 SQ. FT.

ENGINEER
 KIMLEY-HORN
 11700 KATY FREEWAY SUIT 800
 HOUSTON, TX 77079
 TEL. NO. (281) 597-9300
 CONTACT: KENNETH CARGILL, P.E.
 KENNETH.CARGILL@KIMLEY-HORN.COM

APPLICANT
 SEEFRIED INDUSTRIAL PROPERTIES
 3030 LBJ FREEWAY, SUITE 1650
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 TEL. NO. (214)-393-6066
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OWNER
 AMAZON.COM SERVICES LLC,
 410 N. TERRY AVENUE
 SEATTLE, WA 98109
 TEL. NO. (206)-266-1000
 NA-REALESTATE@AMAZON.COM

LOT 1, BLOCK D
 ELLIS CENTRE, PHASE TWO
 INST. NO. 20180000021421
 O.P.R.R.C.T.



LEGEND:

P.O.B. = POINT OF BEGINNING
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MATCH LINE SHEET 2

**FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
 DDF9 ADDITION
 LOTS 1-3, BLOCK A
 ARCHIBALD HANNA SURVEY,
 ABSTRACT NO. 99
 FRANCIS HENDERSON SURVEY,
 ABSTRACT NO. 119
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 CASE NO. 2021-_____**

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Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	DWP	DJD	APRIL 2021	069284835	3 OF 5

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, AMAZON SERVICES, LLC is the owner of a tract of land situated in the Archibald Hanna Survey, Abstract No. 99, and the Francis Henderson Survey, Abstract No. 119, City of Rockwall, Rockwall County, Texas and being part of a 99.958 acre tract of land described as "Tract 1" in the Warranty Deed with Vendor's Lien, to Nan A. Smartt, W.I. Lofland and Juliana Bond, recorded in Volume 70, Page 183, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

LOT 1, BLOCK A

BEGINNING at a 5/8-inch iron rod with plastic cap stamped "KHA" set ("KHA" Capped iron set) in the north line of said 99.958 acre tract and being the most northly northwest corner of a 3.662 acre tract of land described in Special Warranty Right-of-Way Deed to the City of Rockwall, recorded in Instrument No. 2007-00369618, Official Public Records, Rockwall County, Texas same being the north right-of-way line of Justin Road (a variable width public right-of-way);

THENCE with said north right-of-way line of Justin Road, the following courses and distances:

South 0°59'50" East, a distance of 40.21 feet to a "KHA" Capped iron set at the beginning of a non-tangent curve to the left having a central angle of 30°39'50", a radius of 850.00 feet, a chord bearing and distance of South 55°58'43" West, 449.50 feet;

In a southwesterly direction, with said curve to the left, an arc distance of 454.91 feet to a "KHA" Capped iron set for corner;

South 40°38'48" West, a distance of 96.67 feet to a "KHA" Capped iron set at the beginning of a tangent curve to the right having a central angle of 21°39'01", a radius of 850.00 feet, a chord bearing and distance of South 51°28'19" West, 319.28 feet;

in a southwesterly direction, with said curve to the right, an arc distance of 321.19 feet to a "KHA" Capped iron set for corner;

South 62°17'50" West, a distance of 416.38 feet to a "KHA" Capped iron set at the beginning of a tangent curve to the left having a central angle of 16°06'59", a radius of 850.00 feet, a chord bearing and distance of South 54°14'20" West, 238.30 feet;

In a southwesterly direction, with said curve to the left, an arc distance of 239.09 feet to a "KHA" Capped iron set for corner;

South 46°10'51" West, a distance of 29.58 feet to a "KHA" Capped iron set at the point of intersection of said north right-of-way line with the northeast right-of-way line of Townsend Drive (a variable with public right-of-way);

THENCE with the northeast and east right-of-way line of said Townsend Drive, the following courses and distances:

North 43°41'17" West, a distance of 119.56 feet to a "KHA" Capped iron set at the beginning of a non-tangent curve to the right having a central angle of 26°04'38", a radius of 457.50 feet, a chord bearing and distance of North 30°38'17" West, 206.43 feet;

In a northwesterly direction, with said curve to the right, an arc distance of 208.22 feet to a "KHA" Capped iron set for corner;

North 17°38'15" West, a distance of 96.17 feet to a "KHA" Capped iron set at the beginning of a non-tangent curve to the right having a central angle of 7°09'26", a radius of 467.50 feet, a chord bearing and distance of North 2°09'37" West, 58.36 feet;

In a northwesterly direction, with said curve to the right, an arc distance of 58.40 feet to a "KHA" Capped iron set for corner;

North 1°25'05" East, a distance of 35.05 feet to a "KHA" Capped iron set for corner;

North 89°54'06" East, passing at a distance of 7.10 feet the east right of way line of said Townsend Drive and the southwest corner of Lot 2, Block A, of Aimee Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet D, Slide 101, Plat Records, Rockwall County, Texas, continuing with the south line of said Lot 2, Block A, a total distance of 153.27 feet to a 1/2-inch iron rod with plastic cap stamped "OWENS 5387" found for the southeast corner of said Lot 2, Block A;

THENCE with the east line of said Aimee Addition, the following courses and distances:

North 0°07'00" West, a distance of 90.12 feet to a "KHA" Capped iron set for corner;

South 89°08'57" East, a distance of 36.26 feet to a 1/2-inch iron rod found for corner;

North 0°45'35" West, a distance of 164.97 feet to a "KHA" Capped iron set at the northeast corner of Lot 1, Block A, of said Aimee Addition and being the southeast corner of a called 0.963 acre tract of land described in the Warranty Deed to Jerry Heflin, recorded in Volume 1725, Page 167, Deed Records, Rockwall County, Texas;

THENCE North 1°12'01" West, with the east line of said 0.963 acre tract, a distance of 188.36 feet to a 1/2-inch iron rod found in the apparent common line of said 99.958 acre tract and Municipal Industrial Park plat recorded in Cabinet A, Slide 326, Plat Records, Rockwall County, Texas);

THENCE North 88°53'56" East, with said common line a distance of 1303.27 feet to the **POINT OF BEGINNING** and containing 15.7017 acres or 683,965 square feet of land.

LOT 2, BLOCK A

BEGINNING at a 5/8-inch iron rod with plastic cap stamped "KHA" set ("KHA" Capped iron set) at the southeast corner of a right-of-way corner clip at the intersection of the west right-of-way line of Industrial Boulevard (a 65-foot right-of-way) with the south right-of-way line of Justin Road (a variable width public right-of-way)

THENCE with said west right-of-way line, the following courses and distances:

South 1°01'43" East, a distance of 171.45 feet to a "KHA" Capped iron set at the beginning of a tangent curve to the right having a central angle of 38°59'59", a radius of 267.50 feet, a chord bearing and distance of South 18°28'17" West, 178.59 feet;

In a southwesterly direction, with said curve to the right, an arc distance of 182.08 feet to a "KHA" Capped iron set for corner;

South 37°58'17" West, a distance of 77.51 feet to a "KHA" Capped iron set at the beginning of a tangent curve to the left having a central angle of 39°00'09", a radius of 332.50 feet, a chord bearing and distance of South 18°28'21" West, 222.00 feet;

In a southwesterly direction, with said curve to the left, an arc distance of 226.34 feet to a "KHA" Capped iron set for corner;

South 1°01'43" East, a distance of 581.54 feet to a "KHA" Capped iron set at the beginning of a tangent curve to the right having a central angle of 14°21'26", a radius of 267.50 feet, a chord bearing and distance of South 6°09'03" West, 66.85 feet;

In a southwesterly direction, with said curve to the right, an arc distance of 67.03 feet to a "KHA" Capped iron set for corner;

South 13°19'46" West, a distance of 48.62 feet to a "KHA" Capped iron set in the north line of Lot 1 of the Resubdivision of Industrial Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet C, Slide 75, Plat Records, Rockwall County, Texas, from which an "X" cut in concrete found for the northeast corner of said Lot 1 bears North 88°42'43" East, a distance of 14.34 feet;

THENCE South 88°42'43" West, with the north line of said Lot 1, a distance of 187.08 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 1890" found for the northwest corner of said Lot 1 and being the northeast corner of Lot 1, Block D, of Ellis Centre, Phase Two, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20180000021421, Official Public Records, Rockwall County, Texas;

THENCE South 88°52'49" West, with the north line of said Lot 1, Block D, a distance of 856.54 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 1890" found for the northwest corner of said Lot 1, Block D, and being the northeast corner of Lot 1, Block 1, of Herman Utley Middle School, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet H, Slide 69, Plat Records, Rockwall County, Texas;

THENCE North 69°25'02" West, with the north line of said Lot 1, Block 1, a distance of 1711.38 feet to a 1/2-inch iron rod with plastic cap stamped "LONESTAR RPLS 5921" found for the northwest corner of said Lot 1, Block 1;

THENCE South 2°03'25" West, with the west line of said Lot 1, Block 1, a distance of 695.32 feet to a "KHA" Capped iron set for the southwest corner of said Lot 1, Block 1 and being in the northeast right-of-way line of Townsend Drive (a variable width public right-of-way);

THENCE with said northeast right-of-way line, the following courses and distances:

North 45°38'17" West, a distance of 94.78 feet to a "KHA" Capped iron set for corner;

North 43°41'17" West, a distance of 590.23 feet to a "KHA" Capped iron set at the south end of a right-of-way corner clip at the intersection of said northeast right-of-way line with the southeast right-of-way line of said Justin Road;

THENCE with the southeast and south right-of-way line of said Justin Road, the following courses and distances:

North 0°04'37" East, with said right-of-way corner clip, a distance of 42.90 feet to a "KHA" Capped iron set at the beginning of a non-tangent curve to the right having a central angle of 16°07'00", a radius of 807.50 feet, a chord bearing and distance of North 54°14'20" East, 226.39 feet;

In a northeasterly direction, with said curve to the right, an arc distance of 227.14 feet to a "KHA" Capped iron set for corner;

North 62°17'50" East, a distance of 416.38 feet to a "KHA" Capped iron set at the beginning of a tangent curve to the left having a central angle of 21°39'02", a radius of 892.50 feet, a chord bearing and distance of North 51°28'16" East, 335.25 feet;

In a northeasterly direction, with said curve to the left, an arc distance of 337.25 feet to a "KHA" Capped iron set for corner;

North 40°38'45" East, a distance of 96.67 feet to a "KHA" Capped iron set at the beginning of a tangent curve to the right having a central angle of 48°21'22", a radius of 807.50 feet, a chord bearing and distance of North 64°49'29" East, 661.46 feet;

In a northeasterly direction, with said curve to the right, an arc distance of 681.51 feet to a "KHA" Capped iron set for corner;

North 89°00'10" East, a distance of 56.13 feet to a "KHA" Capped iron set for corner;

North 89°14'40" East, a distance of 1096.05 feet to a "KHA" Capped iron set for corner;

North 89°06'00" East, a distance of 666.65 feet to a "KHA" Capped iron set for corner at the northwest corner of the aforementioned corner clip at the intersection the south right-of-way line of Justin Road with the west right-of-way line of Industrial Boulevard;

South 45°59'30" East with said corner clip, a distance of 42.39 feet to the **POINT OF BEGINNING** and containing 71.9480 acres or 3,134,054 square feet of land.

LOT 3, BLOCK A

BEGINNING at a 5/8-inch iron rod with plastic cap stamped "KHA" set ("KHA" Capped iron set) at the inner el corner of Lot 2 of the Resubdivision of Industrial Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet C, Page 186, Plat Records, Rockwall County, Texas,

THENCE South 88°42'43" West, a north line of said Lot 2, a distance of 168.24 feet to a "KHA" Capped iron set in the east right-of-way line of Industrial Boulevard (a 65-foot right-of-way);

THENCE with said east right-of-way line the following courses and distances:

North 13°19'46" East, a distance of 31.67 feet to a "KHA" Capped iron set at the beginning of a tangent curve to the left having a central angle of 14°21'27", a radius of 332.50 feet, a chord bearing and distance of North 6°09'00" East, 83.10 feet;

In a northeasterly direction, with said curve to the left, an arc distance of 83.32 feet to a "KHA" Capped iron set for corner;

North 1°01'43" West, a distance of 581.56 feet to a 1/2-inch iron rod found at the beginning of a tangent curve to the right having a central angle of 39°00'00", a radius of 267.50 feet, a chord bearing and distance of North 18°28'17" East, 178.59 feet;

In a northeasterly direction, with said curve to the right, an arc distance of 182.08 feet to a point for corner from which a 1/2-inch iron rod found bears South 44°38'06" West, a distance of 0.44 feet;

North 37°58'17" East, a distance of 77.51 feet to a "KHA" Capped iron set at the beginning of a tangent curve to the left having a central angle of 13°09'37", a radius of 332.50 feet, a chord bearing and distance of North 31°23'28" East, 76.20 feet;

In a northeasterly direction, with said curve to the left, an arc distance of 76.37 feet to a 5/8-inch iron rod with plastic cap stamped "RSGI RPLS 5034" found for corner in the west line of Lot 1, Block B of Channell Subdivision, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20160000005517, Official Public Records, Rockwall County, Texas;

THENCE South 1°04'20" East, with said west line of Lot 1, Block B, passing at a distance of 166.58 feet the southwest corner of said Lot 1, Block B same being the most northerly northwest corner of said Lot 2, continuing in all a total distance of 986.83 feet to the **POINT OF BEGINNING** and containing 3.0254 acres or 131,785 square feet of land.

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FRANCIS HENDERSON SURVEY,
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Kimley»Horn

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<u>Drawn by</u>	<u>Checked by</u>	<u>Date</u>	<u>Project No.</u>	<u>Sheet No.</u>
DWP	DJD	APRIL 2021	069284835	4 OF 5

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NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS

COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **DDF9 ADDITION** to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed, *except those created by separate instrument, which are governed by the terms of such separate instruments. I (we) further certify that all other parties who have a mortgage or lien interest in the **DDF9 ADDITION** have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same, *except those created by separate instrument, which are governed by the terms of such separate instruments. I (we) also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements *created hereby.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of the easement strips *created hereby; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- **The owners of the land dedicated by this plat reserve the right to use and enjoy the surface of all easement areas for all purposes that do not interfere with the use of said easement areas for utilities; including but not limited to the right to place surfacing materials over and across the easement areas and to use the same for parking areas, driveways, walkways, sidewalks, landscaping and/or lighting.
- **The location of easements shown hereon that are granted by separate instrument are approximate and such easements and their location are governed by the terms, provisions and conditions of the separate instrument.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself.

Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

By: **AMAZON.COM SERVICES LLC,**
a Delaware limited liability company
and their respective affiliates, successors and assigns

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2021.

Notary Public in and for the State of Texas

* = Modified City of Rockwall Standard Plat language.
** = Non-Standard City of Rockwall Plat language.

APPLICANT
SEEFRIED INDUSTRIAL PROPERTIES
3030 LBJ FREEWAY, SUITE 1650
DALLAS, TX 75243
TEL. NO. (214)-393-6066
CONTACT: JONATHAN STITES
JONATHANSTITES@SEEFRIEDPROPERTIES.COM

ENGINEER
KIMLEY-HORN
11700 KATY FREEWAY SUIT 800
HOUSTON, TX 77079
TEL. NO. (281) 597-9300
CONTACT: KENNETH CARGILL, P.E.
KENNETH.CARGILL@KIMLEY-HORN.COM

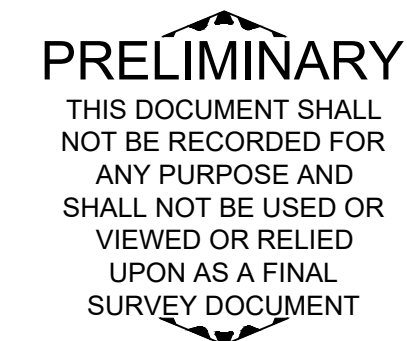
OWNER
AMAZON.COM SERVICES LLC,
410 N. TERRY AVENUE
SEATTLE, WA 98109
TEL. NO. (206)-266-1000
NA-REALESTATE@AMAZON.COM

SURVEYOR'S STATEMENT

I, David J. De Weirdt, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Engineers and Land Surveyors.

Dated this the _____ day of _____, 2021.

DAVID J. De WEIRDt
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5066
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH. (972) 770-1300
david.deweirdt@kimley-horn.com



STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared David J. De Weirdt, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2021.

Notary Public in and for the State of Texas

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of Rockwall on the _____ day of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2021.

Director Of Zoning and Planning

City Engineer

**FINAL PLAT
BEING A CONVEYANCE PLAT FOR
DDF9 ADDITION
LOTS 1-3, BLOCK A
ARCHIBALD HANNA SURVEY,
ABSTRACT NO. 99
FRANCIS HENDERSON SURVEY,
ABSTRACT NO. 119
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. 2021-_____**

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 Tel. No. (972) 770-1300
FIRM # 10115500 Fax No. (972) 239-3820

Drawn by	Checked by	Date	Project No.	Sheet No.
DWP	DJD	APRIL 2021	069284835	5 OF 5

DDF9 ADDITION - LOT 1, BLOCK A**Client:**

KHA

Date: 4/16/2021 9:53:17 AM

Prepared by:

KHA - Survey

Description: LOT 1, BLOCK A

North: 7,024,578.6877' East: 2,597,056.5233'

Length: 208.22' Radius: 457.50'
 Delta: 26°04'38" Tangent: 105.95'
 Chord: 206.43' Course: N30°38'17"W
 Course In: N46°19'24"E Course Out: S72°24'02"W
 RP North: 7,024,894.6317' East: 2,597,387.4094'
 End North: 7,024,756.3017' East: 2,596,951.3234'

Course: N17°38'15"W Length: 96.17' North: 7,024,847.9510' East: 2,596,922.1845'

Length: 58.40' Radius: 467.50'
 Delta: 7°09'26" Tangent: 29.24'
 Chord: 58.36' Course: N2°09'37"W
 Course In: N84°15'40"E Course Out: N88°34'54"W
 RP North: 7,024,894.6987' East: 2,597,387.3413'
 End North: 7,024,906.2703' East: 2,596,919.9846'

Course: N1°25'05"E Length: 35.05' North: 7,024,941.3096' East: 2,596,920.8519'

Course: N89°54'06"E Length: 153.27' North: 7,024,941.5726' East: 2,597,074.1217'

Course: N0°07'00"W Length: 90.12' North: 7,025,031.6924' East: 2,597,073.9382'

Course: S89°08'57"E Length: 36.26' North: 7,025,031.1540' East: 2,597,110.1942'

Course: N0°45'35"W Length: 164.97' North: 7,025,196.1095' East: 2,597,108.0068'

Course: N1°12'01"W Length: 188.36' North: 7,025,384.4282' East: 2,597,104.0612'

Course: N88°53'56"E Length: 1,289.38' North: 7,025,409.2060' East: 2,598,393.2031'

Length: 476.64' Radius: 892.50'
 Delta: 30°35'55" Tangent: 244.15'
 Chord: 470.99' Course: S55°56'45"W
 Course In: S18°45'17"E Course Out: N49°21'12"W
 RP North: 7,024,564.0945' East: 2,598,680.1575'
 End North: 7,025,145.4622' East: 2,598,002.9811'

Course: S40°38'45"W Length: 96.67' North: 7,025,072.1138' East: 2,597,940.0121'

Length: 305.13' Radius: 807.50'
 Delta: 21°39'02" Tangent: 154.41'
 Chord: 303.32' Course: S51°28'16"W
 Course In: N49°21'15"W Course Out: S27°42'13"E
 RP North: 7,025,598.1043' East: 2,597,327.3211'
 End North: 7,024,883.1726' East: 2,597,702.7261'

Course: S62°17'50"W Length: 416.38' North: 7,024,689.6038' East: 2,597,334.0753'

Length: 250.63' Radius: 892.50'
 Delta: 16°05'22" Tangent: 126.14'
 Chord: 249.80' Course: S54°15'09"W
 Course In: S27°42'10"E Course Out: N43°47'32"W
 RP North: 7,023,899.4101' East: 2,597,748.9851'
 End North: 7,024,543.6649' East: 2,597,131.3348'

Course: N88°39'46"W Length: 42.31' North: 7,024,544.6523' East: 2,597,089.0363'

Course: N43°41'17"W Length: 47.07' North: 7,024,578.6892' East: 2,597,056.5236'

Perimeter: 3,955.01' Area: 616,649.19 Sq.Ft. (14.16 Acre)
 Error Closure: 0.0014 Course: N11°38'44"E
 Error North : 0.00141 East: 0.00029

Precision 1: 2,825,021.43

DDF9 ADDITION - LOT 2, BLOCK A**Client:**

KHA

Date: 4/16/2021 9:57:46 AM

Prepared by:

KHA - Survey

Description: LOT 2, BLOCK A

North: 7,025,367.9235' East: 2,600,515.2313'

Course: S1°01'43"E Length: 171.45' North: 7,025,196.5011' East: 2,600,518.3091'

Length: 182.08' Radius: 267.50'
 Delta: 38°59'59" Tangent: 94.73'
 Chord: 178.59' Course: S18°28'17"W
 Course In: S88°58'18"W Course Out: S52°01'43"E
 RP North: 7,025,191.7003' East: 2,600,250.8522'
 End North: 7,025,027.1161' East: 2,600,461.7273'

Course: S37°58'17"W Length: 77.51' North: 7,024,966.0136' East: 2,600,414.0378'

Length: 226.34' Radius: 332.50'
 Delta: 39°00'09" Tangent: 117.75'
 Chord: 222.00' Course: S18°28'21"W
 Course In: S52°01'34"E Course Out: S88°58'17"W
 RP North: 7,024,761.4256' East: 2,600,676.1447'
 End North: 7,024,755.4567' East: 2,600,343.6983'

Course: S1°01'43"E Length: 581.54' North: 7,024,174.0104' East: 2,600,354.1379'

Length: 67.03' Radius: 267.50'
 Delta: 14°21'26" Tangent: 33.69'
 Chord: 66.85' Course: S6°09'03"W
 Course In: S88°58'20"W Course Out: S76°40'14"E
 RP North: 7,024,169.2122' East: 2,600,086.6809'
 End North: 7,024,107.5401' East: 2,600,346.9746'

Course: S13°19'46"W Length: 48.62' North: 7,024,060.2299' East: 2,600,335.7653'

Course: S88°42'43"W Length: 187.08' North: 7,024,056.0245' East: 2,600,148.7326'

Course: S88°52'49"W Length: 856.54' North: 7,024,039.2864' East: 2,599,292.3561'

Course: N69°25'02"W Length: 1,711.38' North: 7,024,640.9396' East: 2,597,690.2216'

Course: S2°03'25"W Length: 695.32' North: 7,023,946.0676' East: 2,597,665.2647'

Course: N45°38'17"W Length: 94.78' North: 7,024,012.3367' East: 2,597,597.5029'

Course: N43°41'17"W	Length: 590.23'	North: 7,024,439.1386'	East: 2,597,189.8124'
Course: N0°04'37"E	Length: 42.90'	North: 7,024,482.0386'	East: 2,597,189.8700'
Length: 227.14'	Radius: 807.50'		
Delta: 16°07'00"	Tangent: 114.32'		
Chord: 226.39'	Course: N54°14'20"E		
Course In: S43°49'10"E	Course Out: N27°42'10"W		
RP North: 7,023,899.4069'	East: 2,597,748.9734'		
End North: 7,024,614.3441'	East: 2,597,373.5787'		

Course: N62°17'50"E	Length: 416.38'	North: 7,024,807.9129'	East: 2,597,742.2296'
Length: 337.25'	Radius: 892.50'		
Delta: 21°39'02"	Tangent: 170.66'		
Chord: 335.25'	Course: N51°28'16"E		
Course In: N27°42'13"W	Course Out: S49°21'15"E		
RP North: 7,025,598.1005'	East: 2,597,327.3082'		
End North: 7,025,016.7426'	East: 2,598,004.4930'		

Course: N40°38'45"E	Length: 96.67'	North: 7,025,090.0911'	East: 2,598,067.4621'
Length: 681.51'	Radius: 807.50'		
Delta: 48°21'22"	Tangent: 362.53'		
Chord: 661.46'	Course: N64°49'29"E		
Course In: S49°21'12"E	Course Out: N0°59'50"W		
RP North: 7,024,564.0917'	East: 2,598,680.1454'		
End North: 7,025,371.4694'	East: 2,598,666.0918'		

Course: N89°00'10"E	Length: 56.13'	North: 7,025,372.4463'	East: 2,598,722.2133'
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Course: N89°14'40"E	Length: 1,096.05'	North: 7,025,386.8994'	East: 2,599,818.1680'
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Course: N89°06'00"E	Length: 666.65'	North: 7,025,397.3707'	East: 2,600,484.7357'
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Course: S45°59'30"E	Length: 42.39'	North: 7,025,367.9197'	East: 2,600,515.2243'
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Perimeter: 9,152.97'	Area: 3,134,054.07 Sq.Ft. (71.95 Acre)
Error Closure: 0.0080	Course: S61°35'24"W
Error North : -0.00380	East: -0.00702

Precision 1: 1,144,121.25

DDF9 ADDITION - LOT 3, BLOCK A

Client:

KHA

Date: 4/16/2021 9:59:57 AM

Prepared by:

KHA - Survey

Description: LOT 3 BLOCK A

North:7,024,175.1830' East:2,600,419.1276'

Course: N1°01'43"W Length: 581.56' North: 7,024,756.6493' East: 2,600,408.6876'

Length: 182.08' Radius: 267.50'
 Delta: 39°00'00" Tangent: 94.73'
 Chord: 178.59' Course: N18°28'17"E
 Course In: N88°58'17"E Course Out: N52°01'43"W
 RP North: 7,024,761.4514' East: 2,600,676.1445'
 End North: 7,024,926.0355' East: 2,600,465.2694'

Course: N37°58'17"E Length: 77.51' North: 7,024,987.1381' East: 2,600,512.9588'

Length: 76.37' Radius: 332.50'
 Delta: 13°09'37" Tangent: 38.35'
 Chord: 76.20' Course: N31°23'28"E
 Course In: N52°01'43"W Course Out: S65°11'20"E
 RP North: 7,025,191.7146' East: 2,600,250.8430'
 End North: 7,025,052.1883' East: 2,600,552.6520'

Course: S1°04'20"E Length: 986.83' North: 7,024,065.5311' East: 2,600,571.1183'

Course: S88°42'43"W Length: 168.24' North: 7,024,061.7492' East: 2,600,402.9208'

Course: N13°19'46"E Length: 31.67' North: 7,024,092.5660' East: 2,600,410.2223'

Length: 83.32' Radius: 332.50'
 Delta: 14°21'27" Tangent: 41.88'
 Chord: 83.10' Course: N6°09'00"E
 Course In: N76°40'16"W Course Out: N88°58'17"E
 RP North: 7,024,169.2207' East: 2,600,086.6789'
 End North: 7,024,175.1897' East: 2,600,419.1253'

Perimeter: 2,187.58' Area: 131,784.66 Sq.Ft. (3.03 Acre)
 Error Closure: 0.0070 Course: N18°25'52"W
 Error North : 0.00667 East: -0.00222

Precision 1: 312,511.43

PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: Z2021-008
 PROJECT NAME: SUP for Residential Infill at 550 E. Quail Run
 SITE ADDRESS/LOCATIONS: 550 E QUAIL RUN RD, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
 CASE MANAGER PHONE: 972-772-6438
 CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Lance Tyler on behalf of the owner Mike Worster for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and a Guest Quarters/Secondary Living Unit for the purpose of constructing a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit on a 8.011-acre tract of land identified as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	04/22/2021	Approved w/ Comments

04/22/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and a Guest Quarters/Secondary Living Unit for the purpose of constructing a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit on a 8.011-acre tract of land identified as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

M.3 For reference, include the case number (Z2021-008) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located within 500-feet of the Caruth Lakes Subdivision, which has been in existence for more than ten (10) years, consists of more than 5 lots, and is more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.

M.6 Given the proposed location of the proposed home and guest quarters the subject property will need to be replat before a building permit will be issued.

M.7 Guest Quarters:

The guest quarters is greater than 30% the size of the primary structure.

The guest quarters should be located behind the primary structure.

M.8 Cabana:

The cabana exceeds the maximum size permitted by the Unified Development Code. The maximum permitted is 144 Sqft; the proposed cabana exceeds the maximum by 752 Sqft.

The cabana exceeds the maximum height permitted by the Unified Development Code. The maximum permitted is 15-feet; the proposed cabana exceeds the maximum by _____.

M.9 Detached Garage:

The detached garage should be located 20-feet behind the front façade, not flush with the front façade.

The detached garage exceeds the maximum height permitted by the Unified Development Code. The maximum permitted is 15-feet; the proposed detached garage exceeds the maximum by ____.

M.10 If all of the above-mentioned items of non-conformity for the guest quarters, cabana, and detached garage are to be requested then I will need a letter/email that outlines each item being requested.

M.11 Please review the attached Draft Ordinance prior to the April 27, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than May 4, 2021. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on April 27, 2021.

I.13 The projected City Council meeting dates for this case will be May 17, 2021 (1st Reading) and June 7, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - Will need a topographic survey of the entire property to define the drainage easement for the floodplain and the erosion hazard setback.

M - The house and all structures (pools, fences, etc.) are not allowed in the drainage easement.

M - the drainage easement and erosion hazard setback shall be defined per the Standards of Design and Construction.

M - House finish floor must be at least 2' above the adjacent fully developed 100-yr floodplain elevation.

M - Parking and driveway paving must be at least 1' above the adjacent floodplain elevation.

I - Must replat lot to show drainage easements, floodplain, floodplain x-sections, floodplain elevations, minimum finish floor elevations,

I - Verify half of 50-ft of right-of-way dedicated for East Quail Run Rd. If not to be dedicated in the plat.

I - 10-ft Utility easement along E. Quail Run Rd.

I - No fencing will be allowed in flood plain

I - Will require water and sewer impact for fees on all additional or upsized meters.

I - If upsize of water meter is required new service will have to go to existing water main on the north side of road. Full panel pavement replacement required.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/21/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved

No Comments

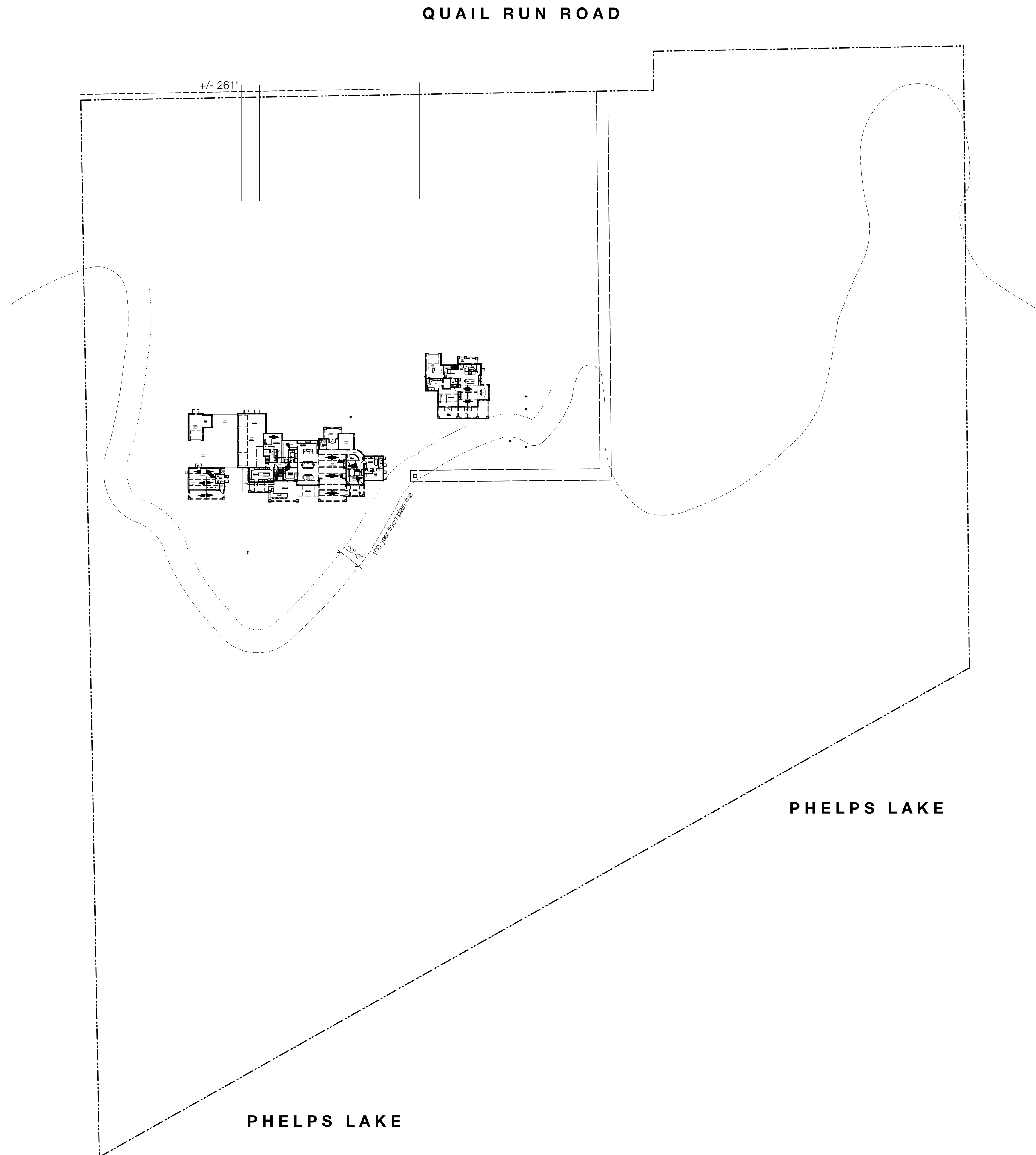
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	04/22/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

04/19/2021: No comments

M - Will need a topographic survey of the entire property to define the drainage easement for the floodplain and the erosion hazard setback.
M - The house and all structures (pools, fences, etc.) are not allowed in the drainage easement.
M - the drainage easement and erosion hazard setback shall be defined per the Standards of Design and Construction.
M - House finish floor must be at least 2' above the adjacent fully developed 100-yr floodplain elevation.
M - Parking and driveway paving must be at least 1' above the adjacent floodplain elevation.
I - Must replat lot to show drainage easements, floodplain, floodplain x-sections, floodplain elevations, minimum finish floor elevations,
I- Verify half of 50-ft of right-of-way dedicated for East Quail Run Rd. If not to be dedicated in the plat.
I - 10-ft Utility easement along E. Quail Run Rd.
I - No fencing will be allowed in flood plain
I - Will require water and sewer impact for fees on all additional or upsized meters.
I - If upsize of water meter is required new service will have to go to existing water main on the north side of road. Full panel pavement replacement required.





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
 MASTER PLAT (\$100.00 + \$15.00 ACRE) †
 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
 FINAL PLAT (\$300.00 + \$20.00 ACRE) †
 REPLAT (\$300.00 + \$20.00 ACRE) †
 AMENDING OR MINOR PLAT (\$150.00)
 PLAT REINSTATEMENT REQUEST (\$100.00)
SITE PLAN APPLICATION FEES:
 SITE PLAN (\$250.00 + \$20.00 ACRE) †
 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:
 ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) †
 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †
OTHER APPLICATION FEES:
 TREE REMOVAL (\$75.00)
 VARIANCE REQUEST (\$100.00)
NOTES:
†: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 550 East Quail Run
SUBDIVISION: A0146 SS McCurdy Tract 19-2
GENERAL LOCATION: Between John King / 205
LOT: _____ BLOCK: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: _____ CURRENT USE: Residential
PROPOSED ZONING: _____ PROPOSED USE: Residential
ACREAGE: 8.00 LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

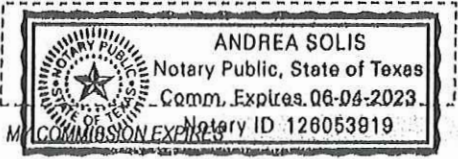
OWNER: Mike Wurster
 APPLICANT: Lance Tyler
CONTACT PERSON: _____ CONTACT PERSON: _____
ADDRESS: 1309 Moraine Place ADDRESS: 8989 Garland Rd
CITY, STATE & ZIP: Heath Tx 75032 CITY, STATE & ZIP: Dallas Tx 75218
PHONE: 214-403-7698 PHONE: 214-991-7983
E-MAIL: mwurster@Elementsgrp.com E-MAIL: Lance@BelleVistaCompany.com

NOTARY VERIFICATION [REQUIRED]


BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Wurster [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

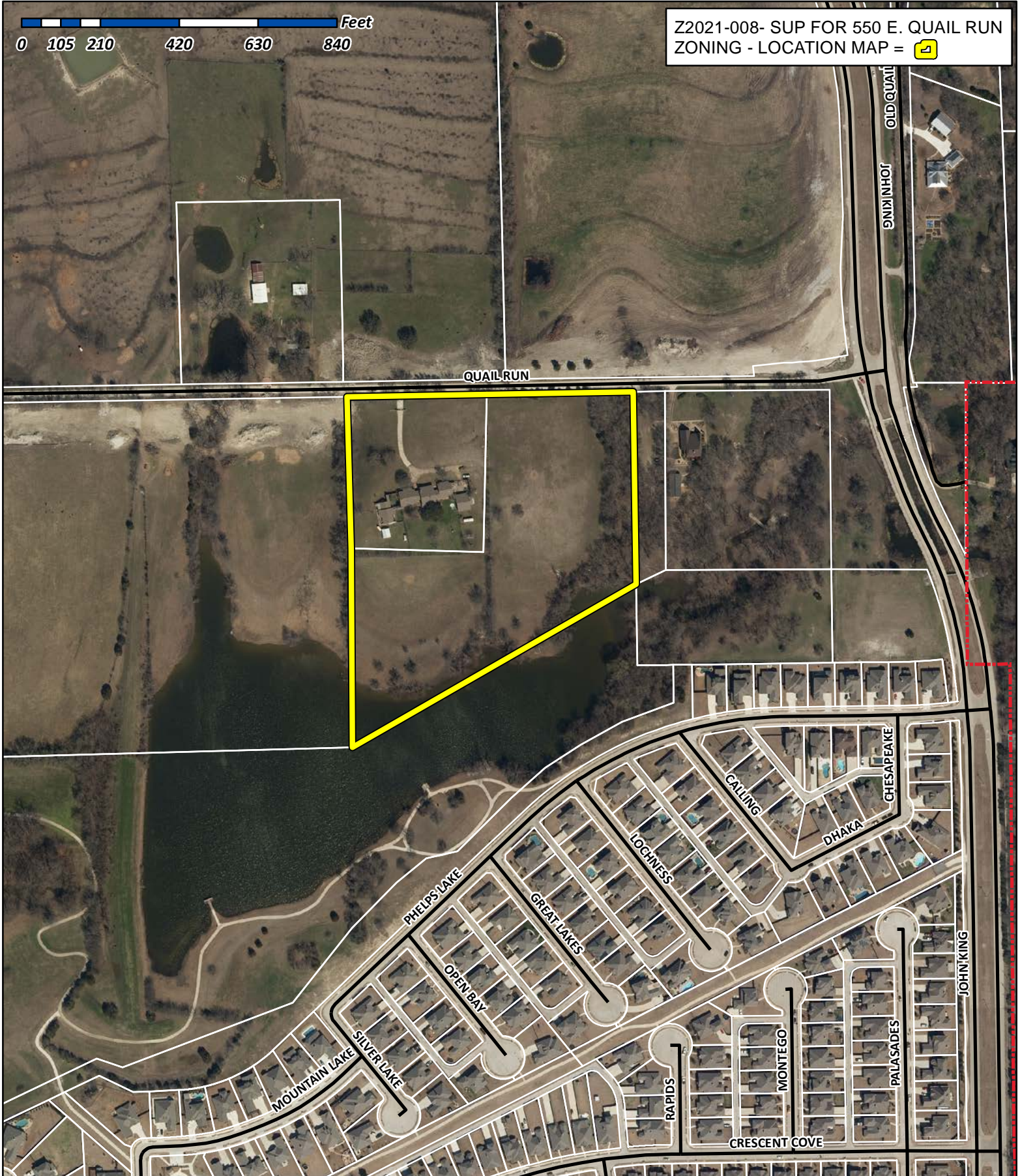
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 410.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF April, 2021
OWNER'S SIGNATURE: Mike Wurster



0 105 210 420 630 840 Feet

Z2021-008- SUP FOR 550 E. QUAIL RUN
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

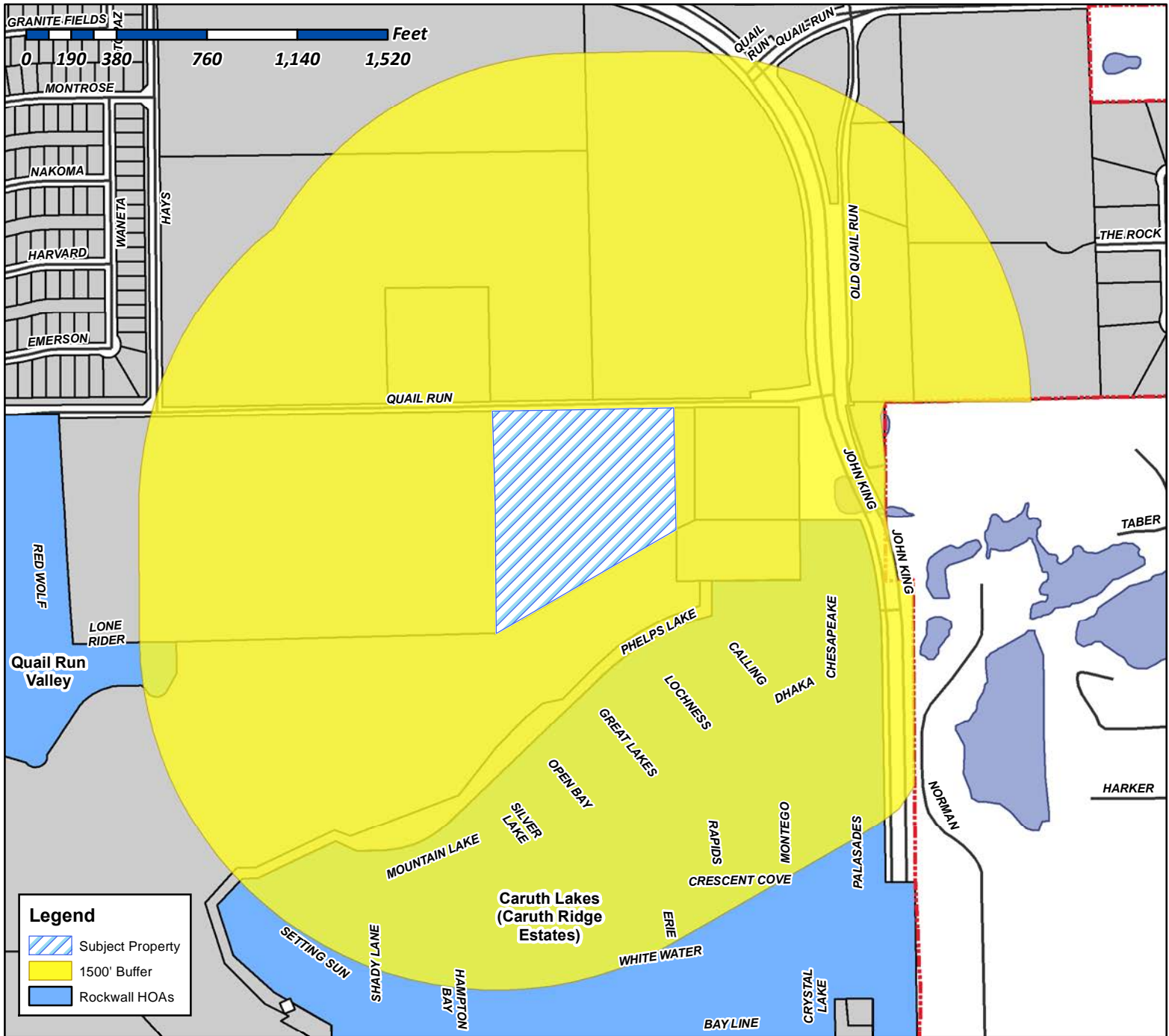




City of Rockwall

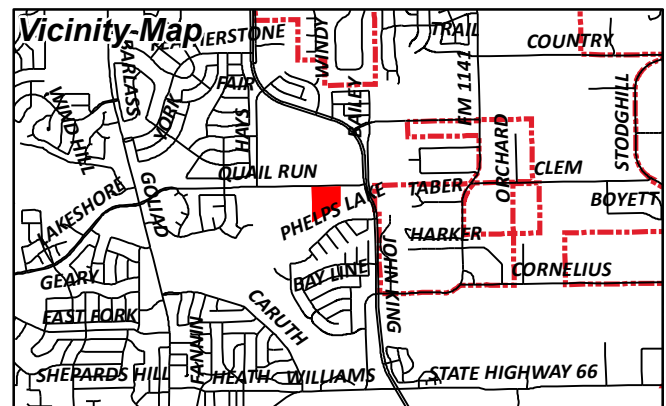
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-008
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 5 (PD-5)
Case Address: 550 E. Quail Run Road

Date Created: 4/19/2021
 For Questions on this Case Call (972) 771-7745

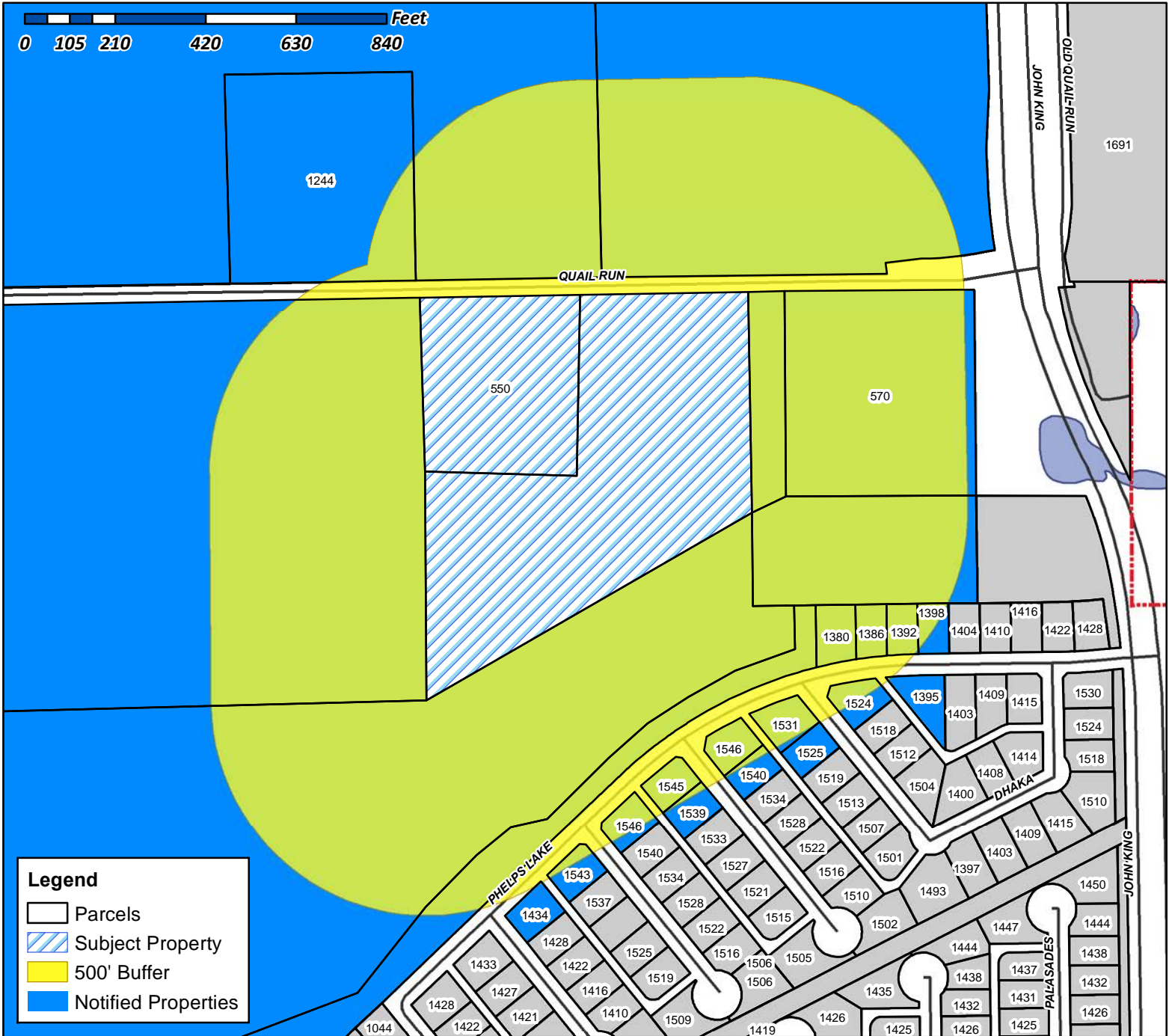




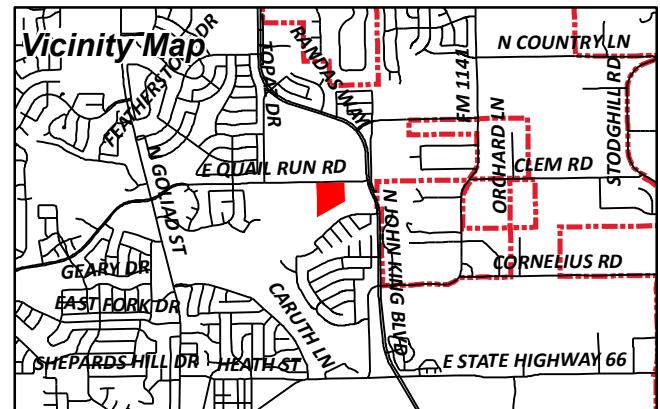
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Address: 550 E. Quail Run Road



Date Created: 4/19/2021
For Questions on this Case Call (972) 771-7745

HASSELL ERIN L
1059 HAMPTON BAY DR
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP
1244 QUAIL RUN
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER
1309 MORAIN PL
HEATH, TX 75032

SANDERS APRIL D AND
JENNIFER S GEGOGINE
1380 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

DEWEY BRET ADMIRAL
1386 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

KOSTERMAN CHRISTOPHER J & COLLEEN S
1392 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

KLEIN RONALD AND KELLY
1395 PHELPS LAKE DR
ROCKWALL, TX 75087

COLE LESLIE E & REBECCA J
1398 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

BENNERS ROBERT JR AND TAMMI
1434 OPEN BAY CT
ROCKWALL, TX 75087

TOVAR ELISA M
1524 CALLING CIRCLE
ROCKWALL, TX 75087

WILLIAMS MICHAEL L AND PEGGY A
1525 CALLING CIRCLE
ROCKWALL, TX 75087

PETTY LYNDEN AND VICTORIA
1531 CALLING CIR
ROCKWALL, TX 75087

ARGENAL JULIO GABRIEL & AMBER ELIZABETH
1539 LOCHNESS COURT
ROCKWALL, TX 75087

KELSO MICHAEL AND MAURA
1540 LOCHNESS CT
ROCKWALL, TX 75087

PROTHRO ALISE
1543 GREAT LAKES COURT
ROCKWALL, TX 75087

HASSELL ERIN L
1545 LOCHNESSCT
ROCKWALL, TX 75087

NOGGLE SCOTT AND CARRI
1546 GREAT LAKES CT
ROCKWALL, TX 75087

SELMAN JOHN C JR AND VIRGINIA A
1546 LOCHNESS CT
ROCKWALL, TX 75087

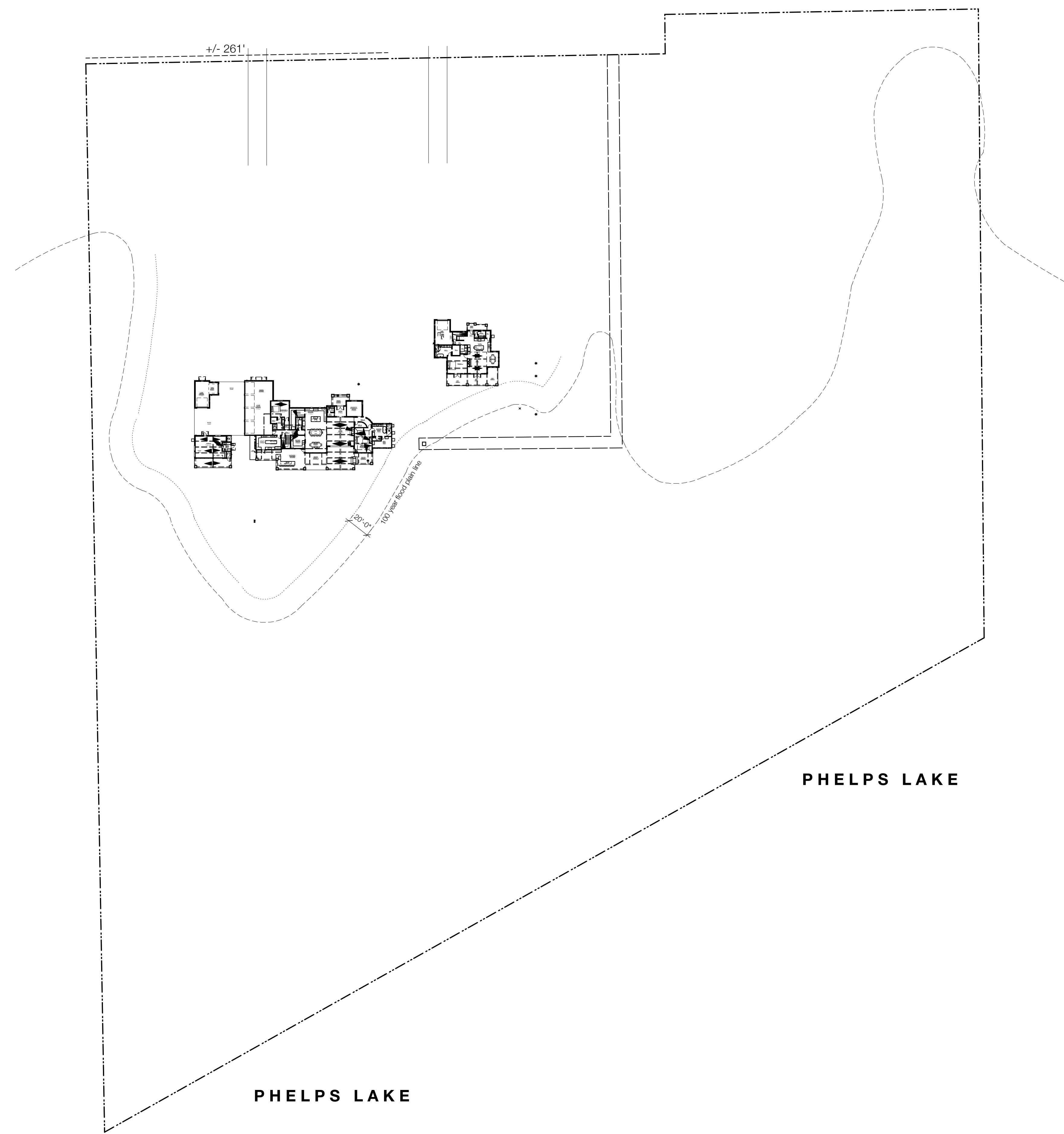
WURSTER MICHAEL AND JENNIFER
550 E QUAIL RUN RD
ROCKWALL, TX 75087

YINGLING JOHN R
570 EAST QUAIL RUN RD
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP
6946 SPERRY ST
DALLAS, TX 75214

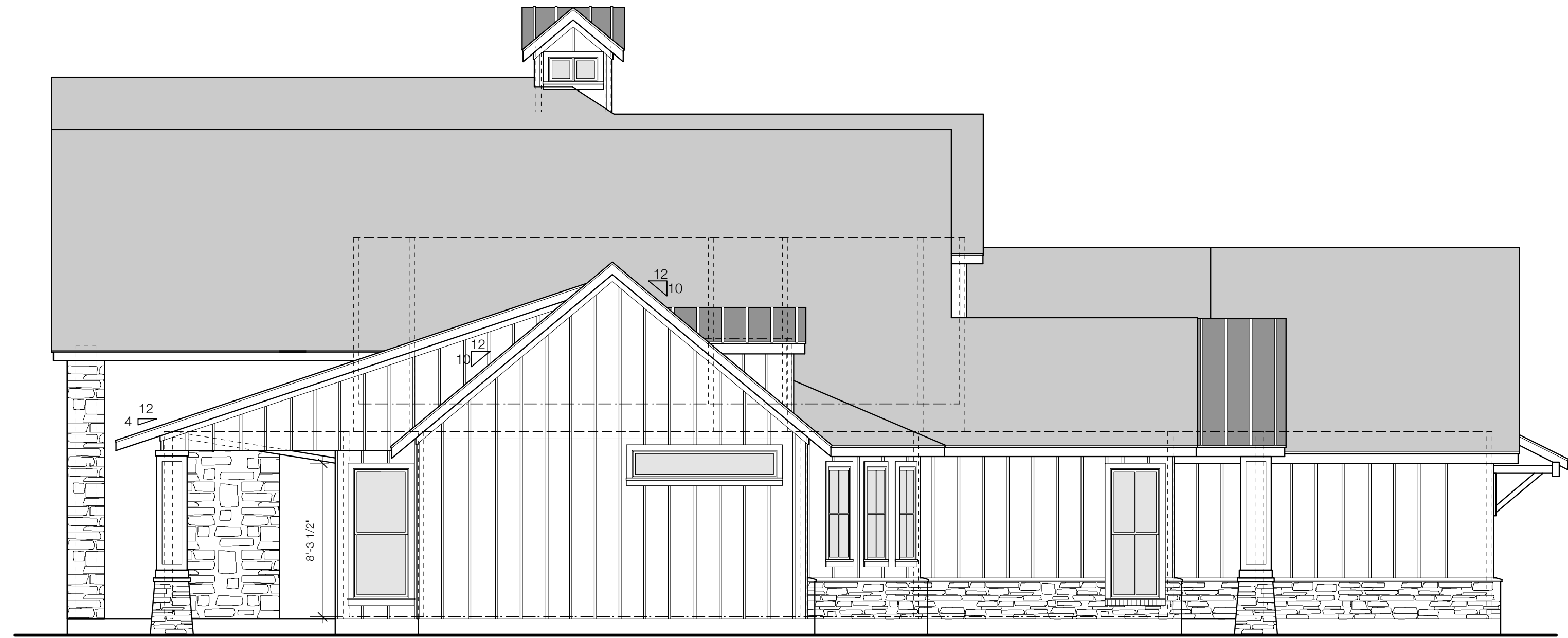
GIDEON GROVE ADDITION 2 LTD
8214 WESTCHESTER DR SUITE 710
DALLAS, TX 75225

QUAIL RUN ROAD



PHELPS LAKE

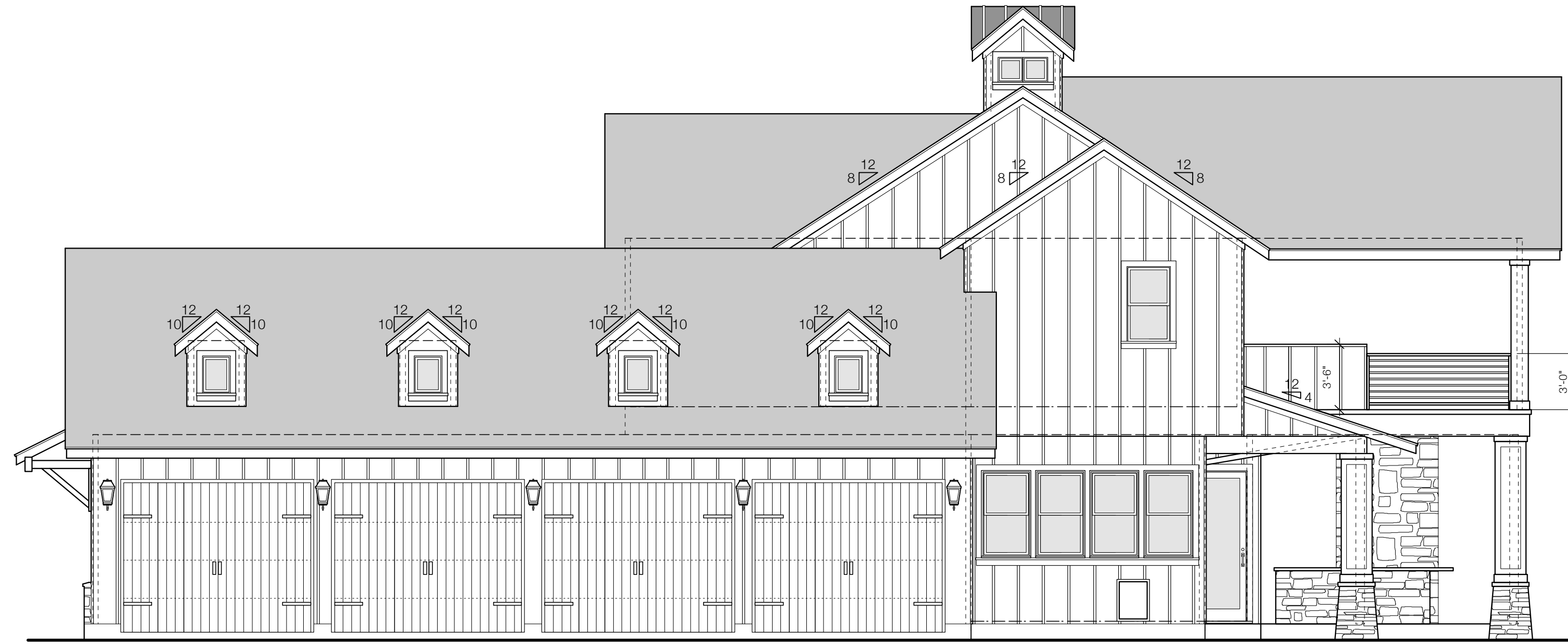
PHELPS LAKE



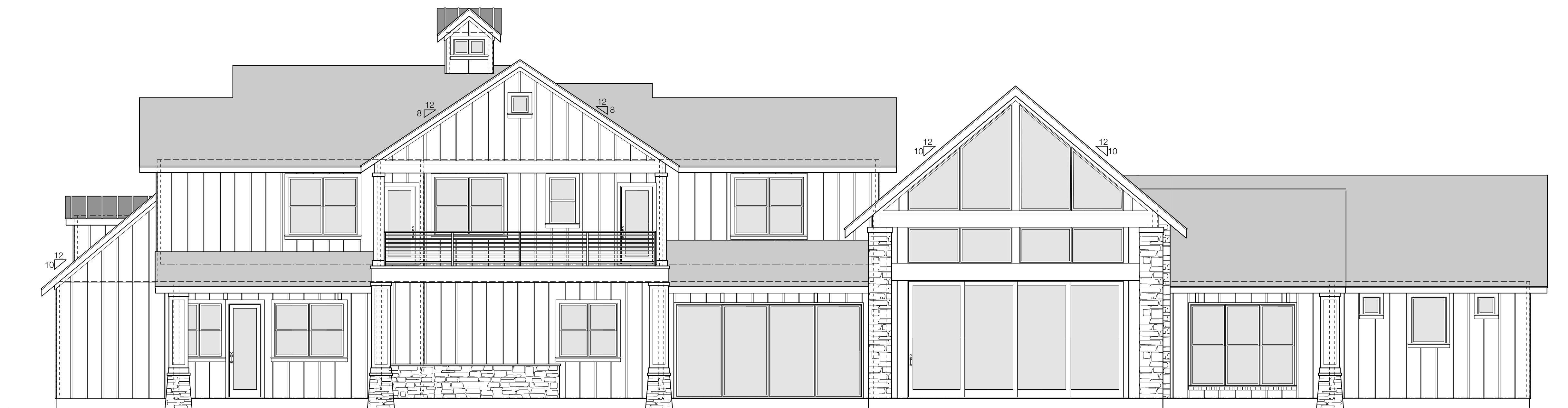
01
3.01 RESIDENCE EXTERIOR ELEVATION - LEFT
Scale: 3/16" = 1'-0"



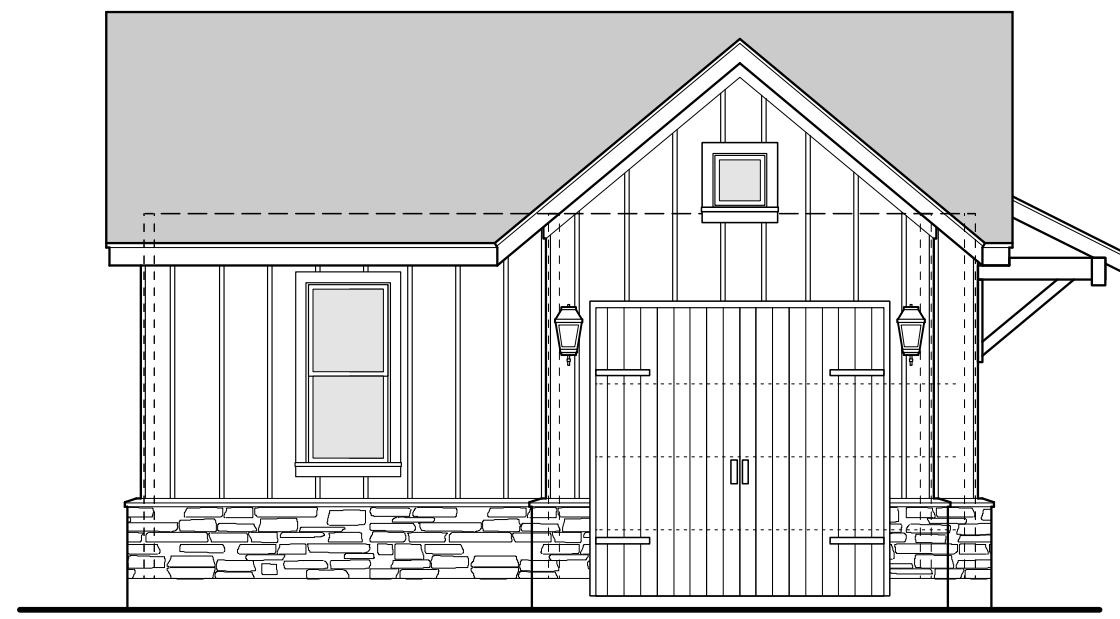
01
3.01 RESIDENCE EXTERIOR ELEVATION - FRONT
Scale: 3/16" = 1'-0"



01 RESIDENCE EXTERIOR ELEVATION - RIGHT
 3.01 Scale: 3/16" = 1'-0"



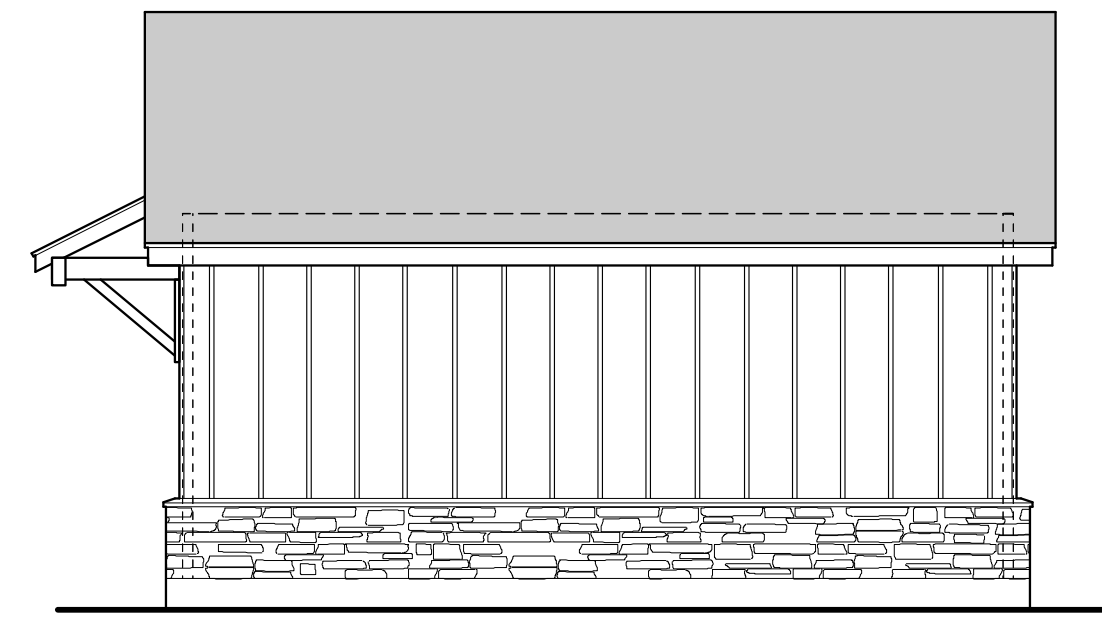
01 RESIDENCE EXTERIOR ELEVATION - REAR
 3.01 Scale: 3/16" = 1'-0"



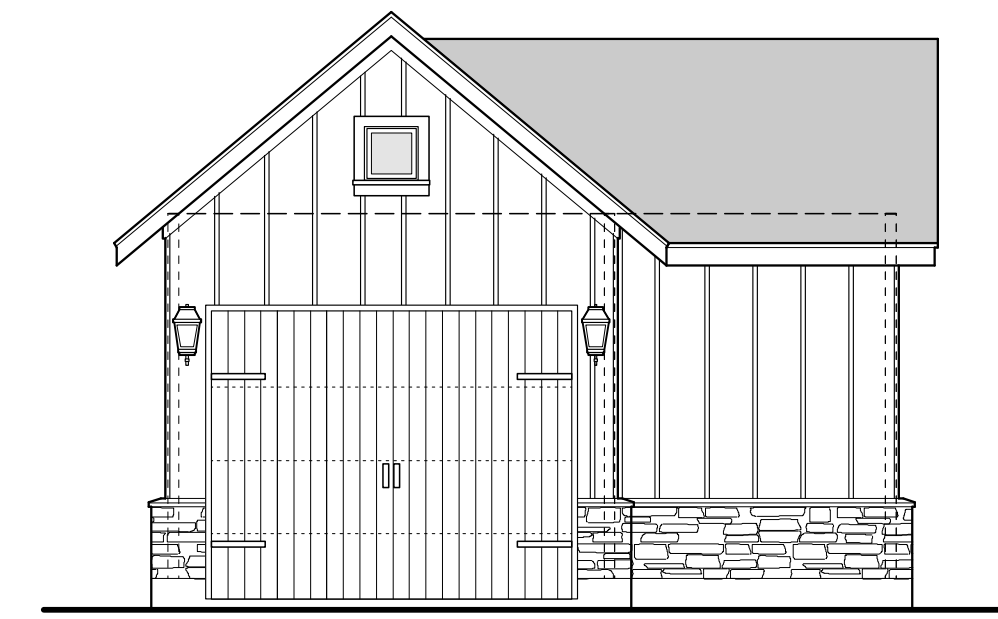
02
3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
LEFT



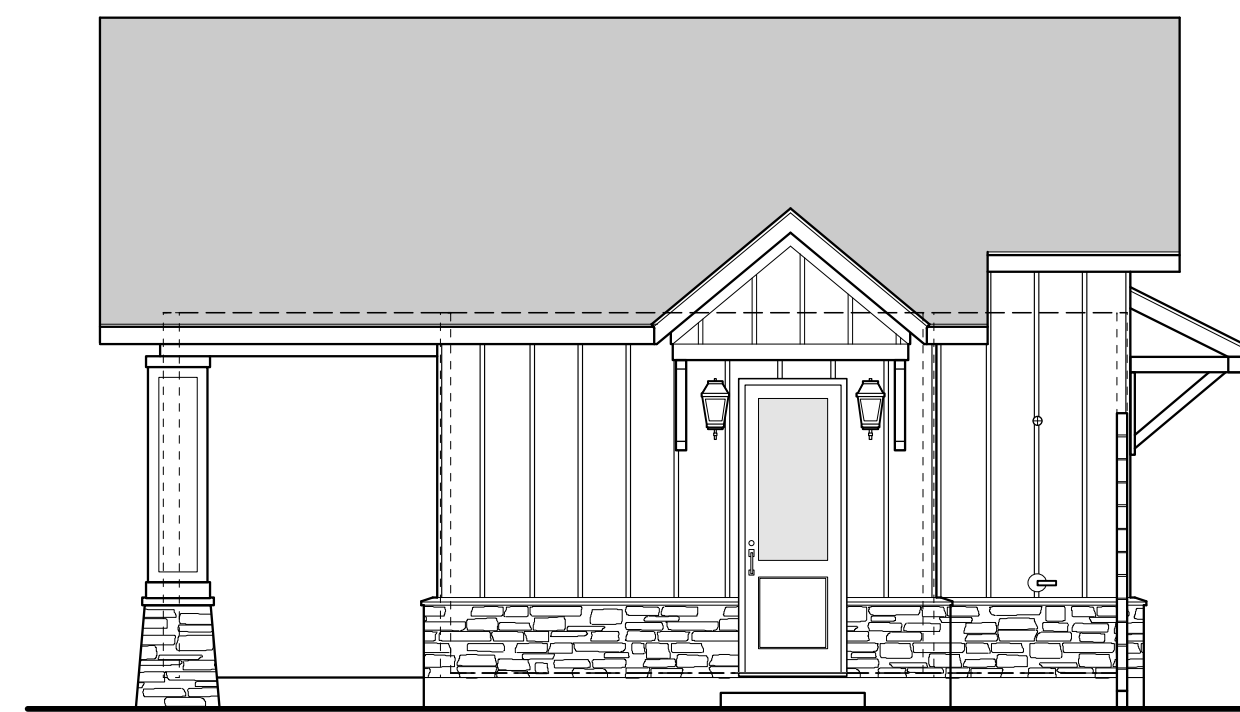
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3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
FRONT



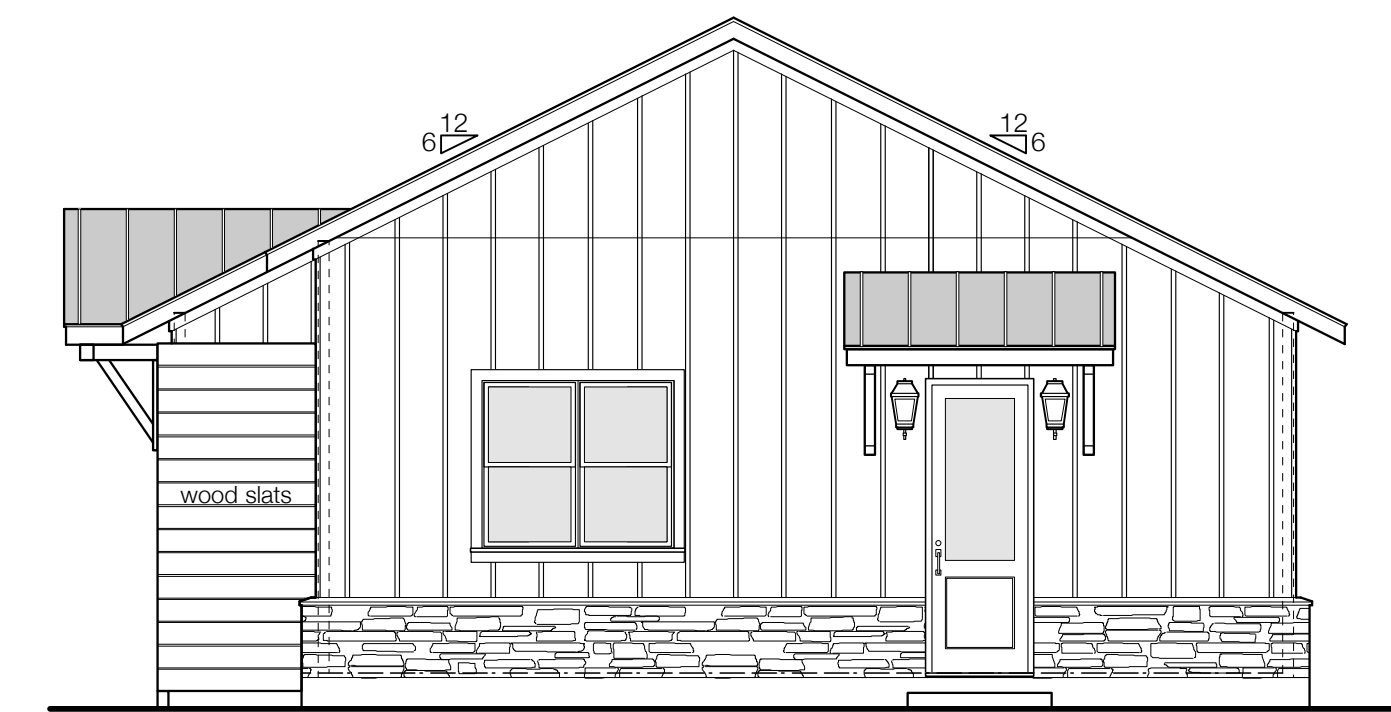
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3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
RIGHT



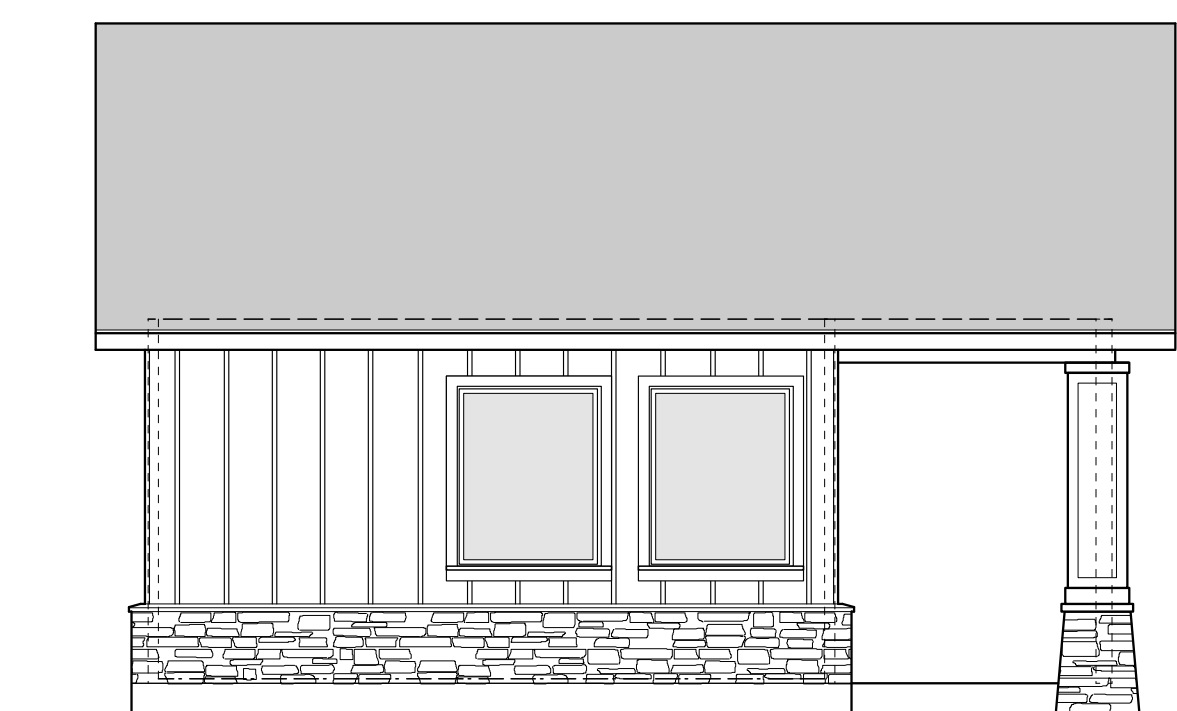
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3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
REAR



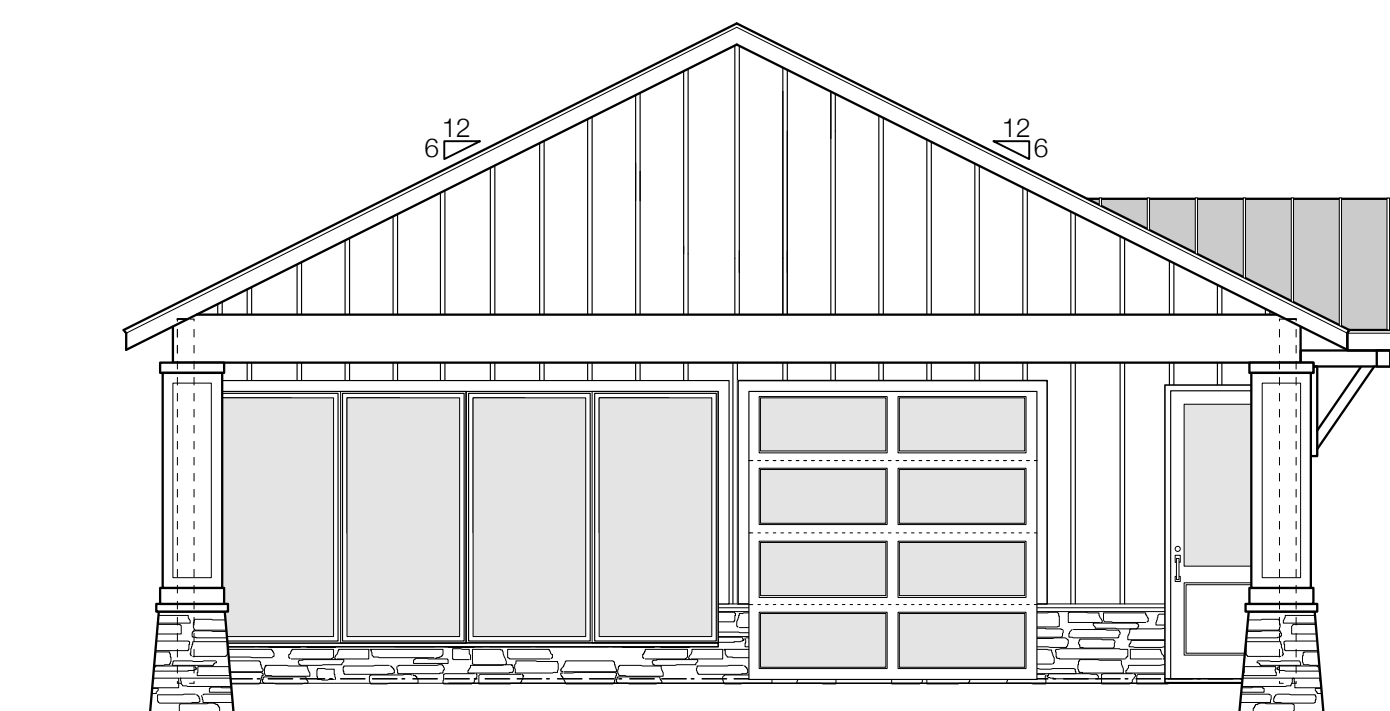
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3.01 **CABANA EXTERIOR ELEVATION - LEFT**
Scale: 3/16" = 1'-0"



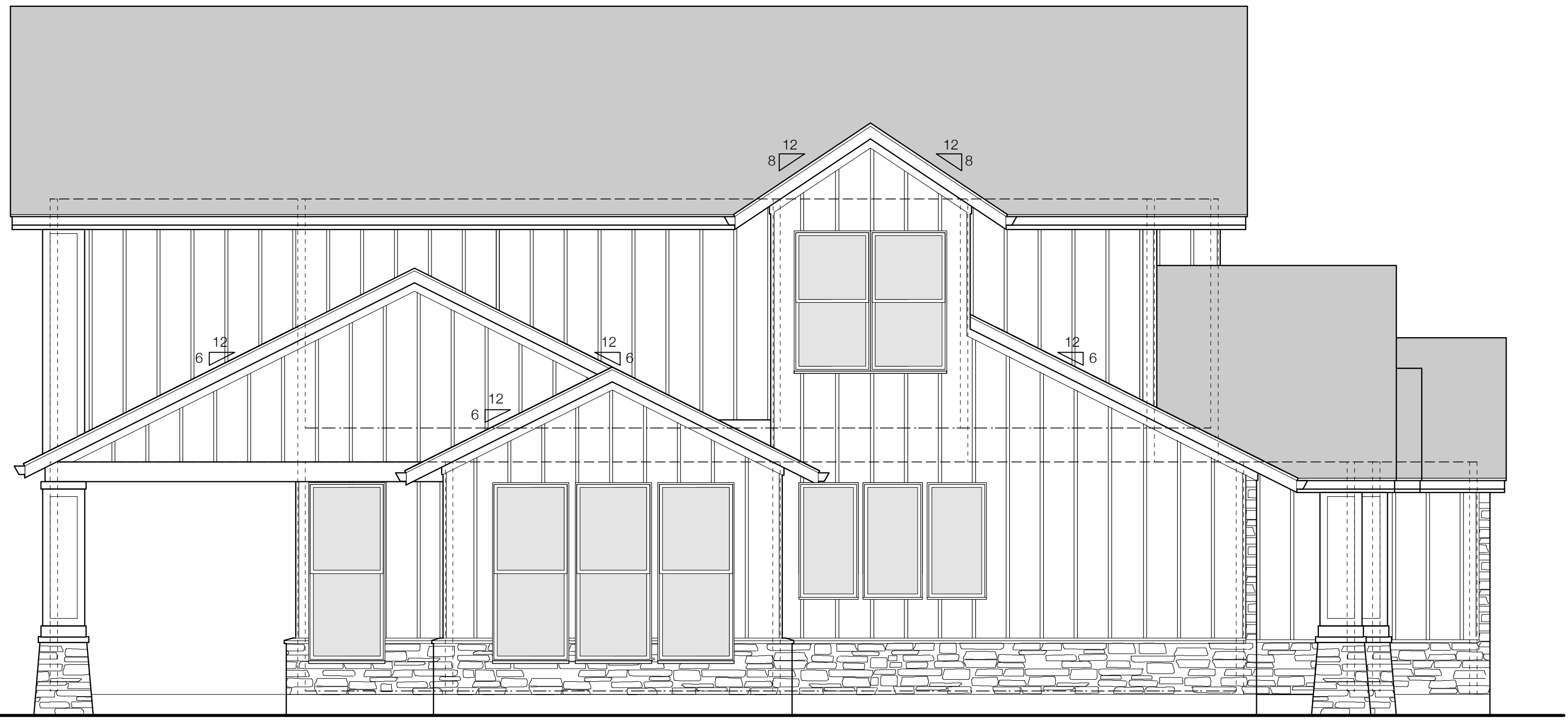
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3.01 **CABANA EXTERIOR ELEVATION - FRONT**
Scale: 3/16" = 1'-0"



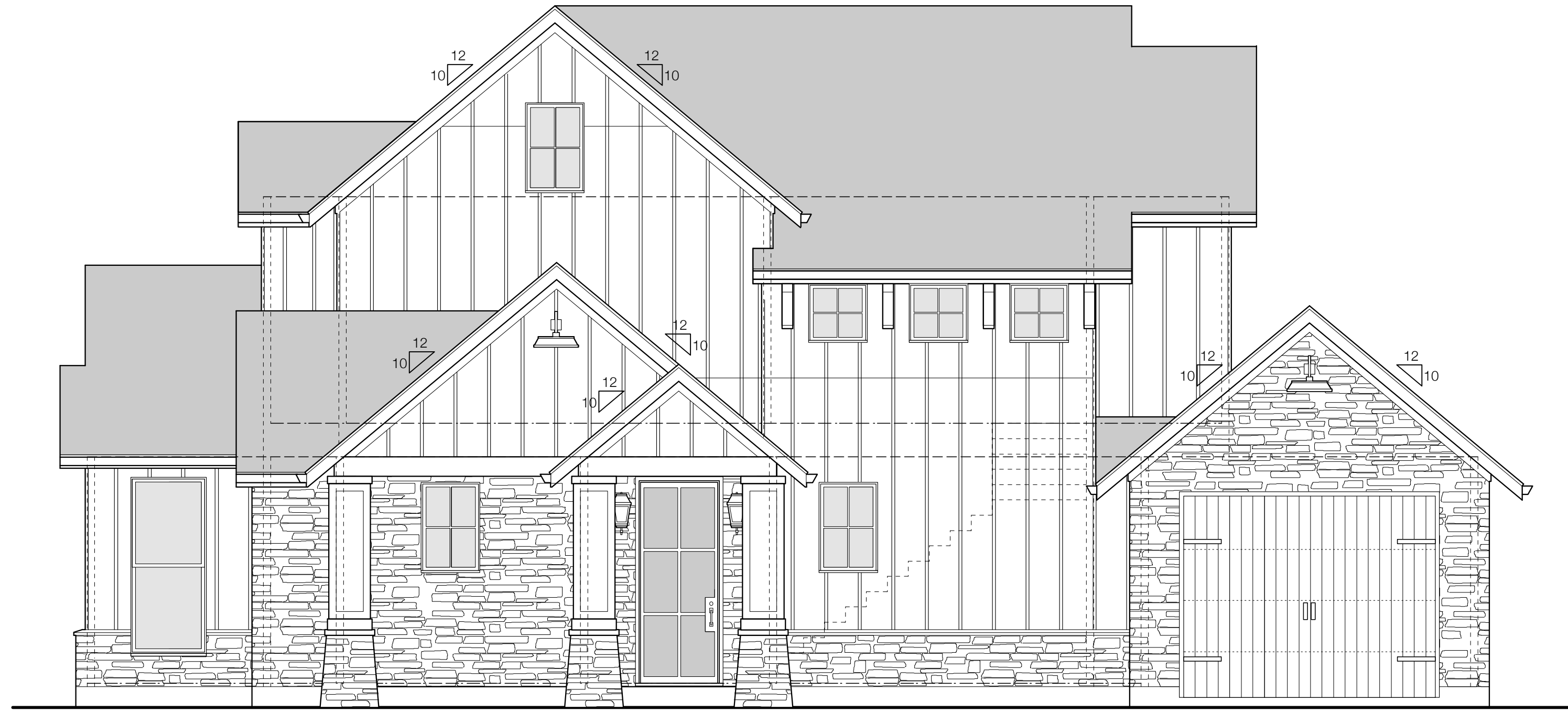
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3.01 **CABANA EXTERIOR ELEVATION - RIGHT**
Scale: 3/16" = 1'-0"



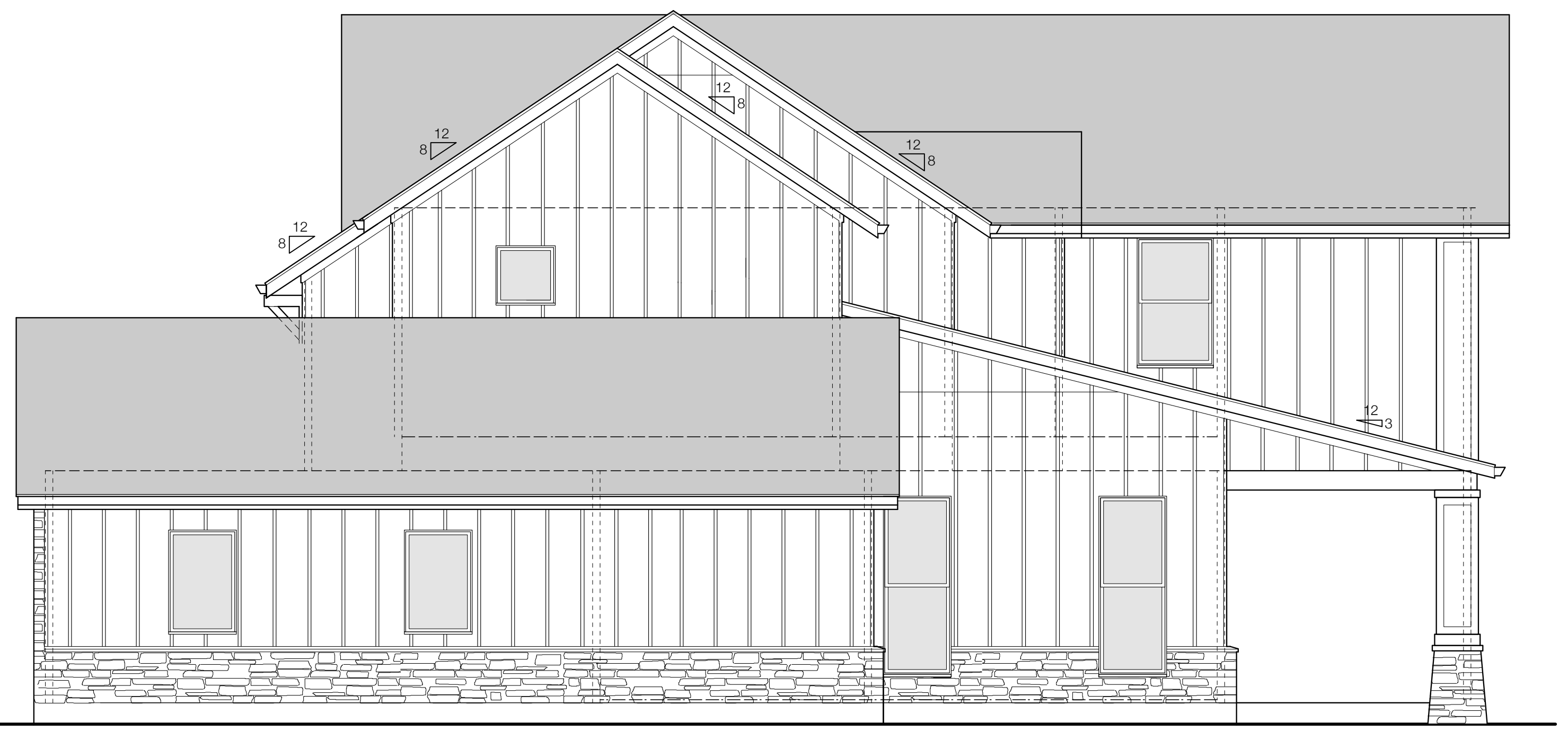
02
3.01 **CABANA EXTERIOR ELEVATION - REAR**
Scale: 3/16" = 1'-0"



01 **GUEST HOUSE EXTERIOR ELEVATION - LEFT**
3.01 Scale: 1/4" = 1'-0"



01 **GUEST HOUSE EXTERIOR ELEVATION - FRONT**
3.01 Scale: 1/4" = 1'-0"



01 **GUEST HOUSE EXTERIOR ELEVATION - RIGHT**
3.01 Scale: 1/4" = 1'-0"



01 **GUEST HOUSE EXTERIOR ELEVATION - REAR**
3.01 Scale: 1/4" = 1'-0"



option 2



option 1

01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"

01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"



option 3



option 4

01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"

01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
550 E. Quail Run Road	<i>RCAD Indicates Vacant</i>		Subject Property		
570 E. Quail Run Road	<i>Single-Family Home</i>	1988	3,257	2215	Brick
1244 E. Quail Run Road	<i>Single-Family Home</i>	1975	2,236	6433	Brick
Averages:		1982	2,747	4,324	



570 E. Quail Run Road



1244 E. Quail Run Road

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 5 (PD-5) [ORDINANCE NO. 19-38] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION, A GUEST QUARTERS/SECONDARY LIVING UNIT, AND AN ACCESSORY STRUCTURE THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME, ACCESSORY STRUCTURE, DETACHED GARAGE, AND GUEST QUARTERS/SECONDARY LIVING UNIT ON AN 8.011-ACRE TRACT OF LAND, IDENTIFIED AS TRACT 19-2 OF THE S. S. MCCURRY SURVEY, ABSTRACT NO. 146, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.*

WHEREAS, the City has received a request from Lance Tyler for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision, a Guest Quarters/Secondary Living Unit, and an accessory structure* that exceeds the maximum allowable size to allow the construction of a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit on an 8.011-acre tract of land being described as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) [Ordinance No. 19-38] for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 5 (PD-5) [Ordinance No. 19-38] the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of

Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, a *Guest Quarters/Secondary Living Quarters*, and an *accessory structure* that exceeds the maximum size to allow for the construction of a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.08, *Single-Family 8.4 (SF-8.4) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 5 (PD-5) [Ordinance No. 19-38] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home, guest quarters/secondary living unit, and accessory building on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of the single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) The construction of the guest quarters/secondary living unit on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'D'* of this ordinance.
- 4) The construction of an accessory structure on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'E'* of this ordinance.
- 5) The accessory structure shall not exceed a maximum size of 900 SF.
- 6) The subject property shall be limited to two (2) accessory structures (*i.e. a detached garage and an accessory building*) as depicted in *Exhibit 'B'* of this ordinance.
- 7) The guest quarters/secondary living unit may be conveyed as a separate housing unit if the property is subdivided -- *in accordance with the Unified Development Code (UDC) and Planned Development District 5 (PD-5)* -- prior to conveyance; however, should the guest quarters/secondary living unit be modified to not meet the zoning requirements for a single-family home -- *prior to the subdivision of land* --, the guest quarters/secondary living unit may not be conveyed separately from the primary structure.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in

the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF JUNE, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

DRAFT
ORDINANCE
04.27.2021

Exhibit 'A'
Location Map and Survey

Address: 550 E. Quail Run Road

Legal Description: Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146



Exhibit 'B':
Residential Plot Plan
QUAIL RUN ROAD

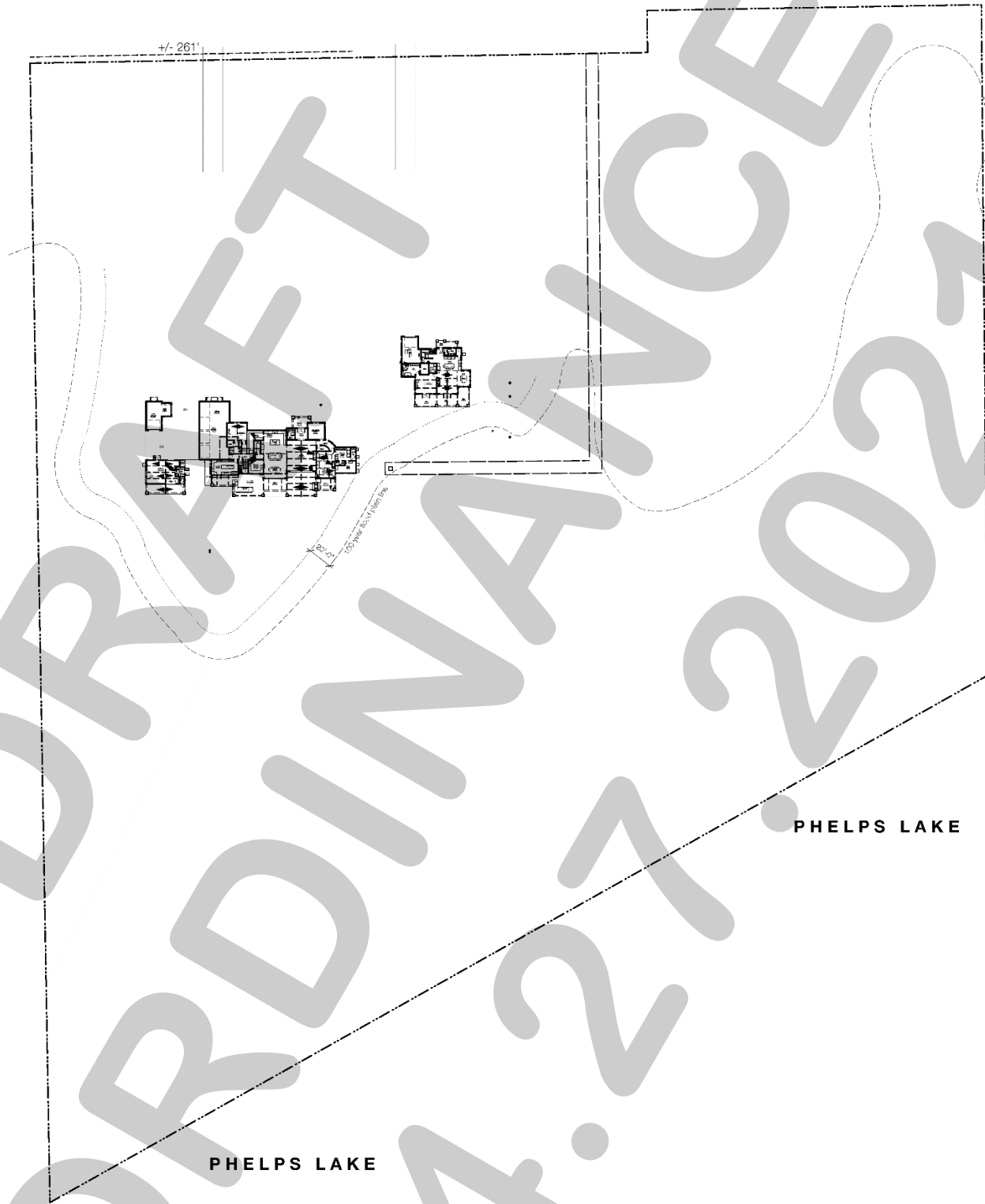
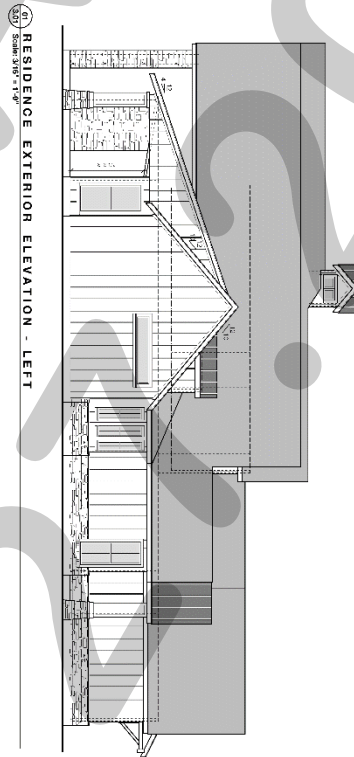
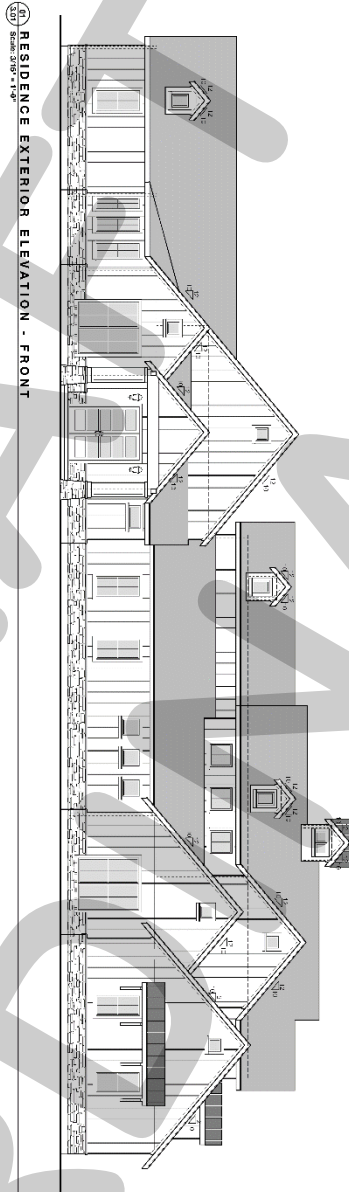


Exhibit 'C':
Building Elevations

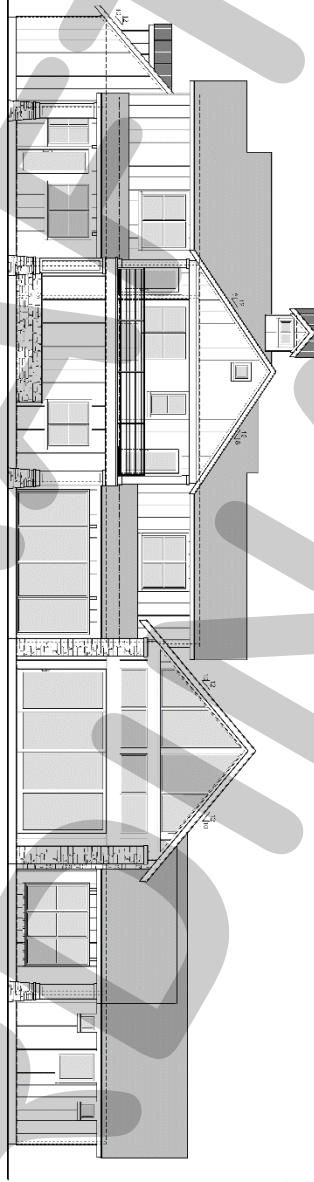


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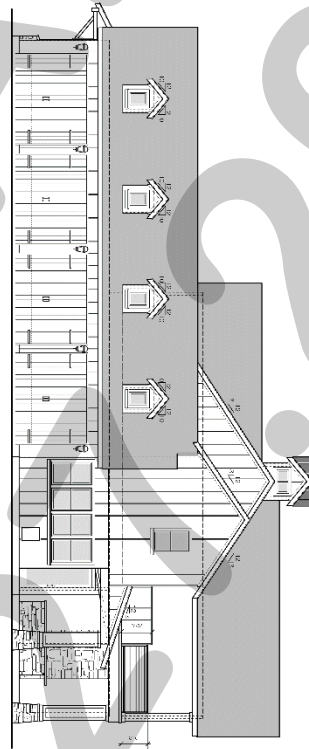
EXTERIOR
ELEVATIONS

Exhibit 'C':
Building Elevations

RESIDENCE EXTERIOR ELEVATION - REAR
Scale: 3/16" = 1'-0"



RESIDENCE EXTERIOR ELEVATION - RIGHT
Scale: 3/16" = 1'-0"

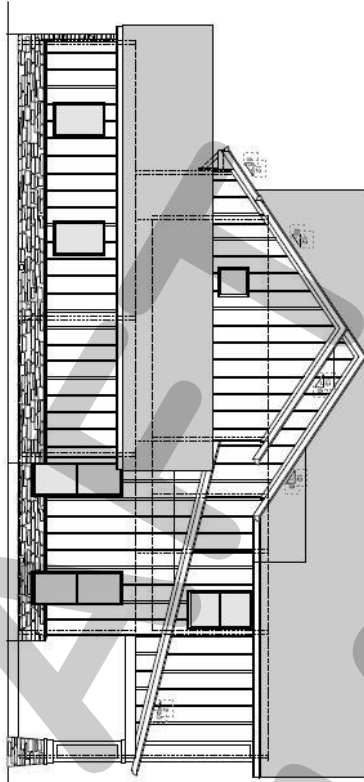


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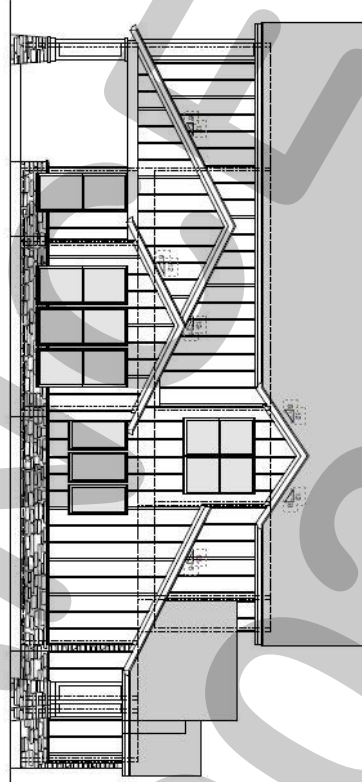
EXTERIOR
ELEVATIONS

Exhibit 'D':
Guest Quarters/Secondary Living Unit

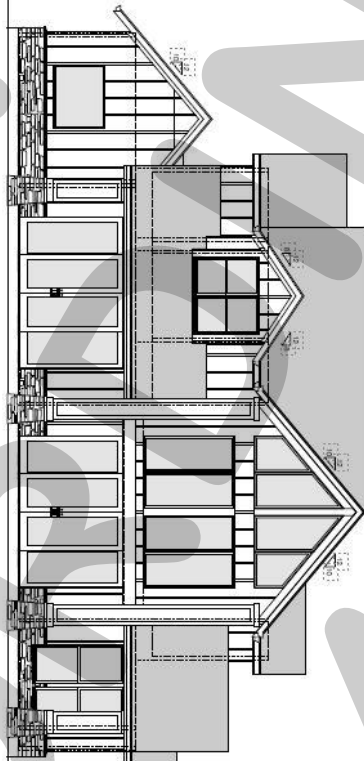
301
Scale: 1/8" = 1'-0"
GUEST HOUSE EXTERIOR ELEVATION - RIGHT



302
Scale: 1/8" = 1'-0"
GUEST HOUSE EXTERIOR ELEVATION - LEFT



303
Scale: 1/8" = 1'-0"
GUEST HOUSE EXTERIOR ELEVATION - REAR



304
Scale: 1/8" = 1'-0"
GUEST HOUSE EXTERIOR ELEVATION - FRONT

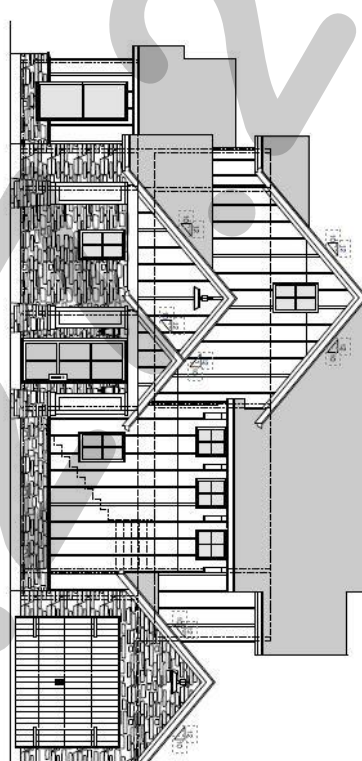


Exhibit 'D':
Guest Quarters/Secondary Living Unit

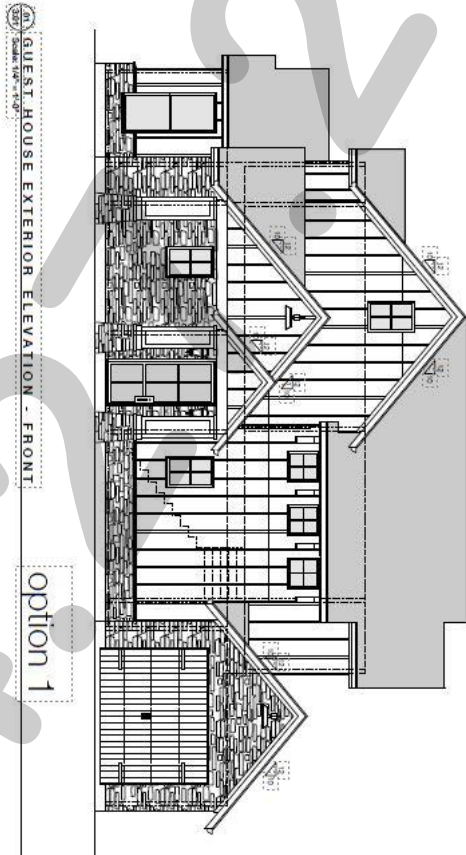
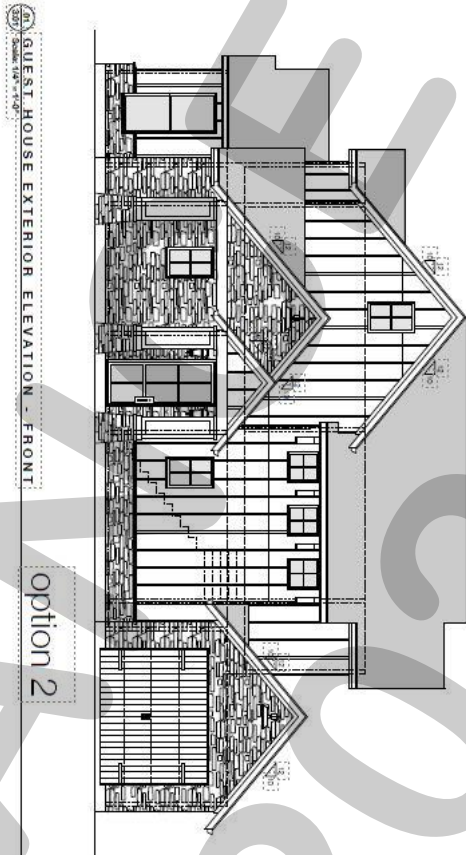
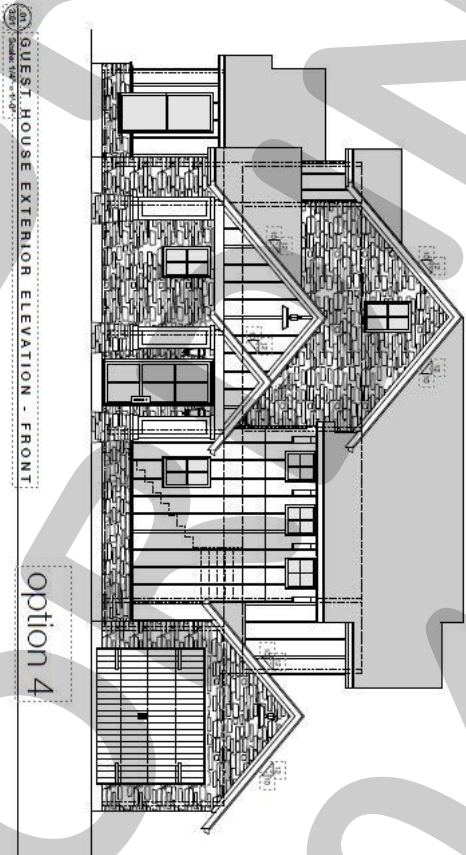
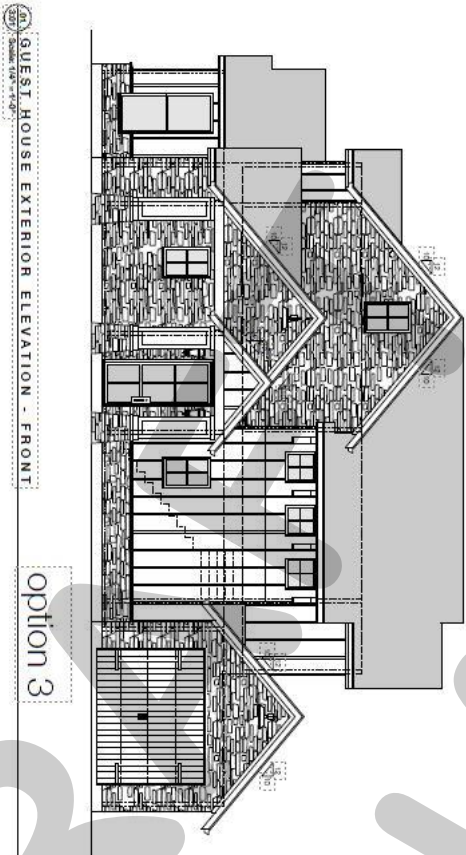
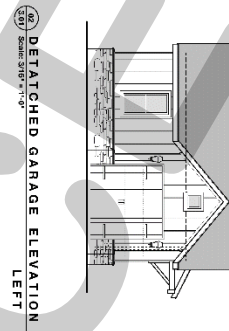
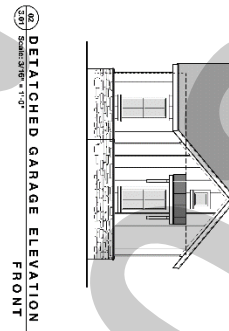


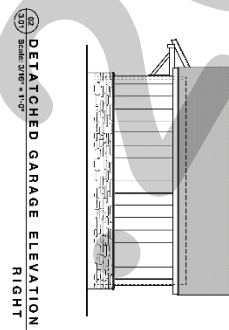
Exhibit 'E':
Accessory Structure



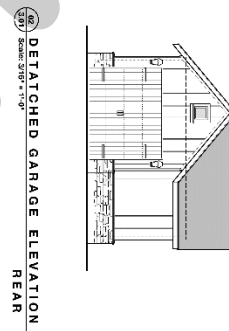
DETACHED GARAGE ELEVATION
LEFT



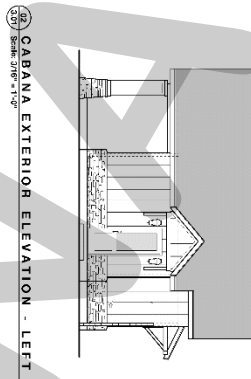
DETACHED GARAGE ELEVATION
FRONT



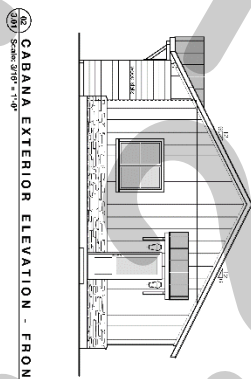
DETACHED GARAGE ELEVATION
RIGHT



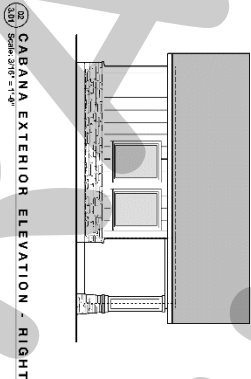
DETACHED GARAGE ELEVATION
REAR



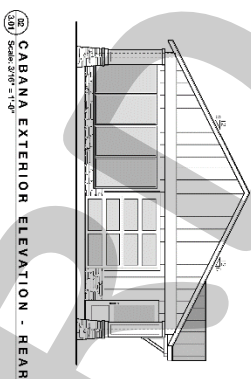
CABANA EXTERIOR ELEVATION - LEFT



CABANA EXTERIOR ELEVATION - FRONT



CABANA EXTERIOR ELEVATION - RIGHT



CABANA EXTERIOR ELEVATION - REAR

3.03
EXTERIOR
ELEVATIONS

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: Z2021-009
PROJECT NAME: SUP for Residential Infill at 704 Parks Avenue
SITE ADDRESS/LOCATIONS: 704 PARKS AVE, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Michael Morgan on behalf of the owner Gary Scott Barron for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.16-acre parcel of land identified as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Parks Avenue, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	04/22/2021	Approved w/ Comments

04/22/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.16-acre parcel of land identified as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Parks Avenue.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

M.3 For reference, include the case number (Z2021-009) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located within the Foree Addition, which was established on February 7, 1913, and consists of 25 lots, and is 96% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.

M.6 The proposed home exceeds the height requirement for the Single-Family 7 (SF-7) zoning district in which it is located. The maximum allowed height is 32-feet; the proposed home is 32-feet, 9-inches, exceeding the height maximum by 9-inches. This can either be corrected or requested as a waiver to the Unified Development Code. I would need a letter/email requesting this waiver.

M.7 The roof pitch for the porch on the rear of the home is less than is permitted per the Unified Development Code. Residential structures must have a roof pitch of 3:12 or greater. The proposed patio roof pitch is 2:12. This can either be corrected or requested as a waiver to the Unified Development Code. I would need a letter/email requesting this waiver.

M.8 Please review the attached Draft Ordinance prior to the April 27, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than May 4, 2021. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on April 27, 2021.

I.10 The projected City Council meeting dates for this case will be May 17, 2021 (1st Reading) and June 7, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Approved w/ Comments

04/22/2021: I - For any new water or sewer taps impact fees apply (Water, Sewer, Roadway)

I - If driveway way off Clark street then a culvert shall be installed in road side ditch. Culvert shall be RCP with reinforced concrete headwall that extend to curb return. Culvert size shall be designed and sign/sealed by Engineer and conform to the Engineering Standards for Design and Construction. Drainage area Map and Calcs shall be included. If a new culvert and/or driveway is installed along Parks the requirements are the same

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/21/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	04/22/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

04/19/2021: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. Z2021-009

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 704 Parks Ave
 Subdivision Foree Addition Lot 9 Block D
 General Location Parks Ave + Heath St

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF3 Current Use Residential
 Proposed Zoning _____ Proposed Use Residential
 Acreage 0.161 Lots [Current] _____ Lots [Proposed] 0.161

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner <u>Gary Scott Barron</u>	<input checked="" type="checkbox"/> Applicant <u>Michael Morgan</u>
Contact Person <u>Gary Scott Barron</u>	Contact Person <u>Michael Morgan</u>
Address <u>1385 Tanglevine</u>	Address <u>14 Kestrel Ct</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Heath Tx 75032</u>
Phone <u>325-864-4130</u>	Phone <u>469.600.9861</u>
E-Mail <u>scottbarron61@gmail.com</u>	E-Mail <u>michael@buildmgn.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Gary Scott Barron [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

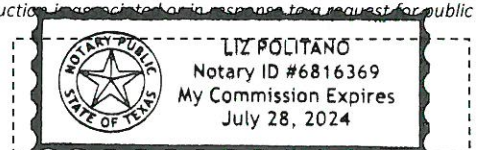
Given under my hand and seal of office on this the 5 day of April, 20 21.

Owner's Signature

Gary S. B.

Notary Public in and for the State of Texas


Liz Politano

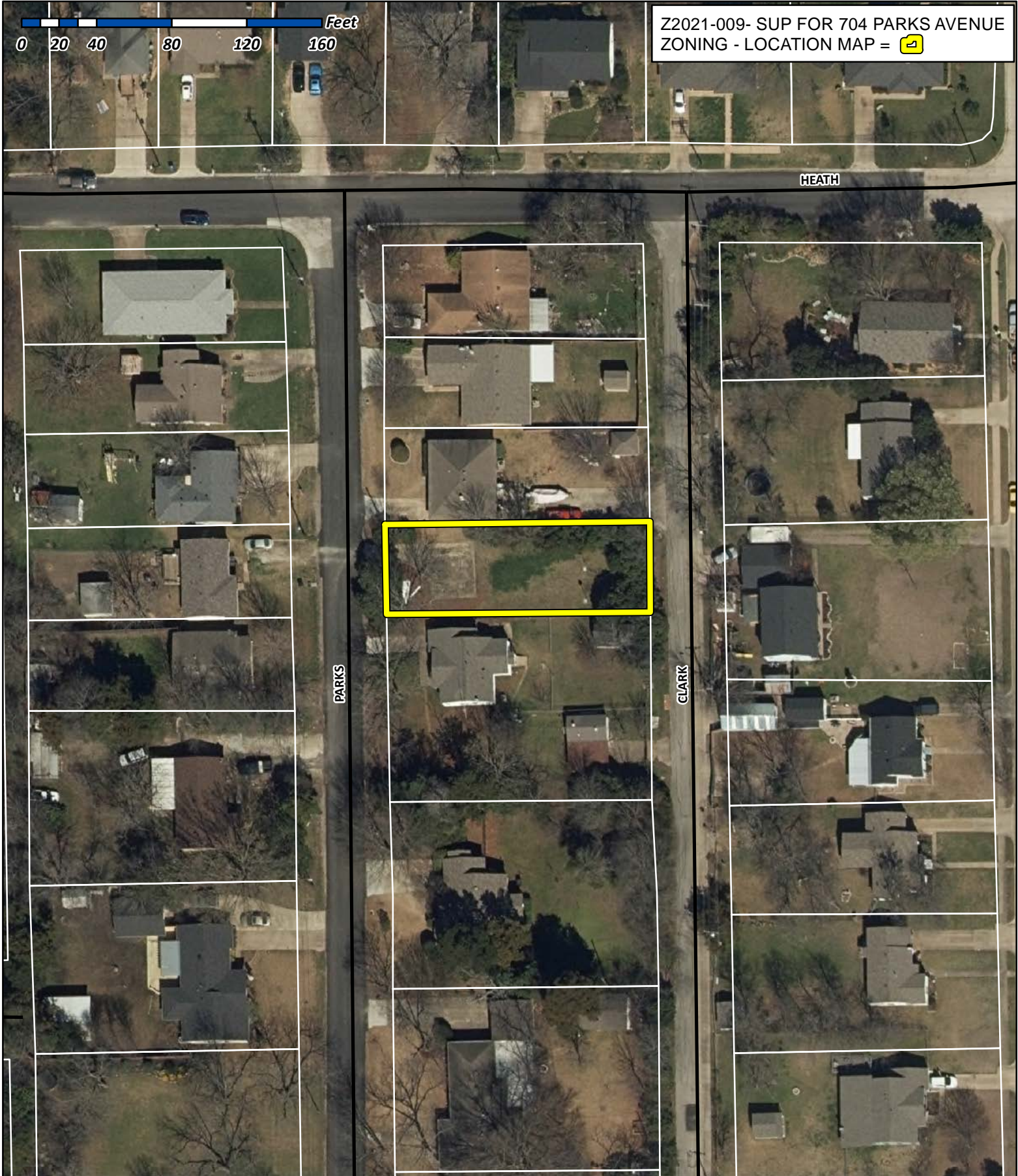


My Commission Expires

7-28-24

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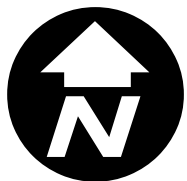
Z2021-009- SUP FOR 704 PARKS AVENUE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

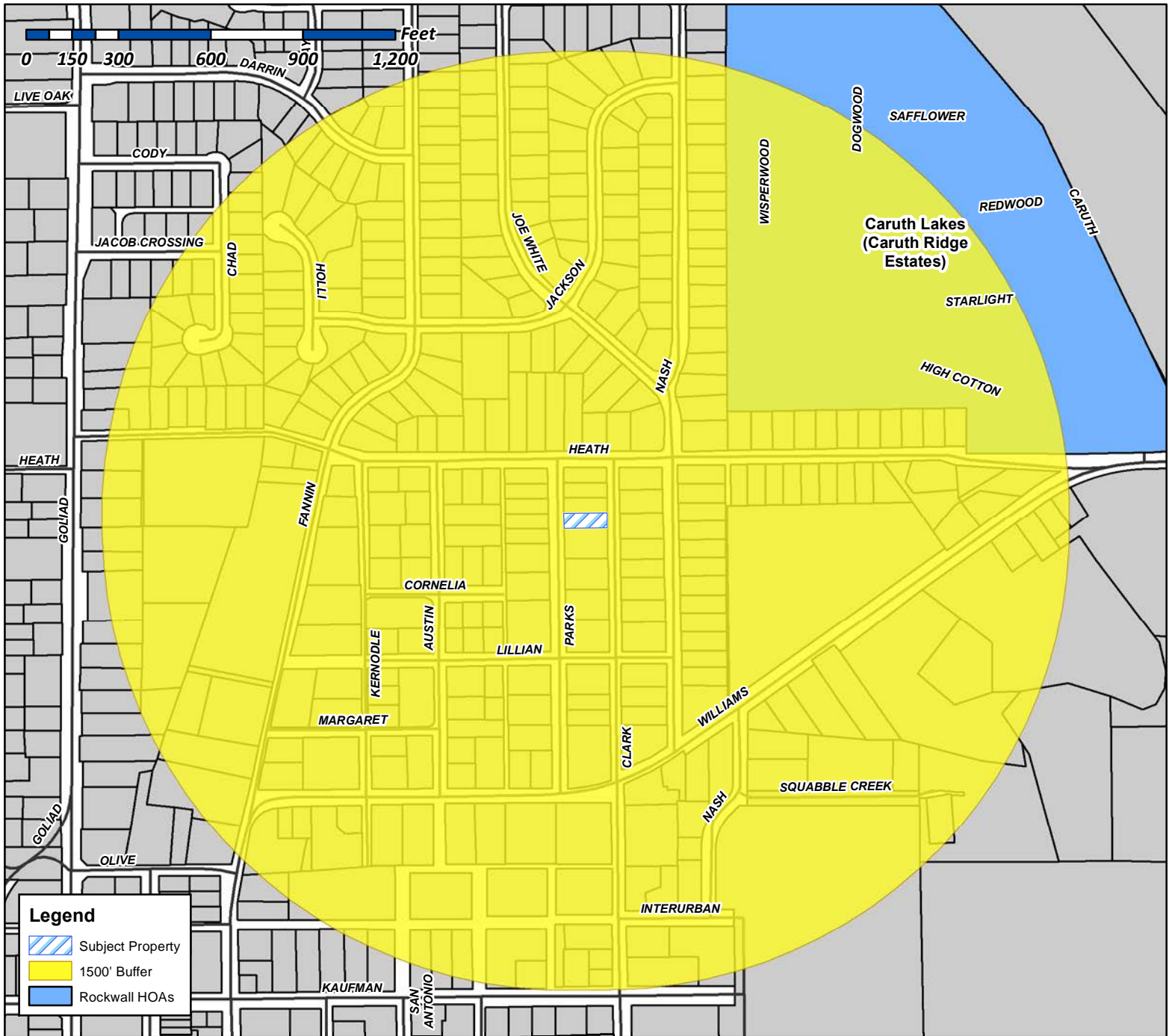




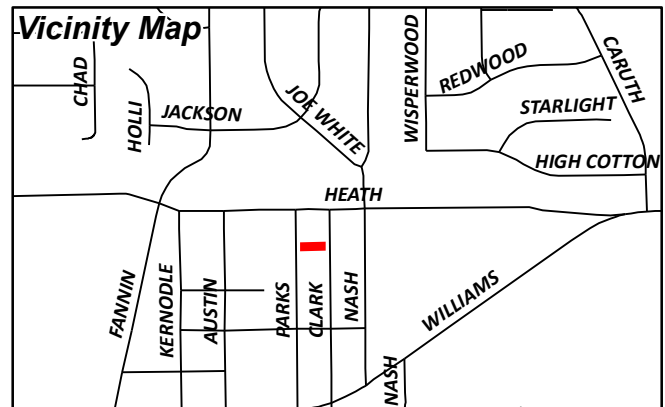
City of Rockwall

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Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 704 Parks Avenue



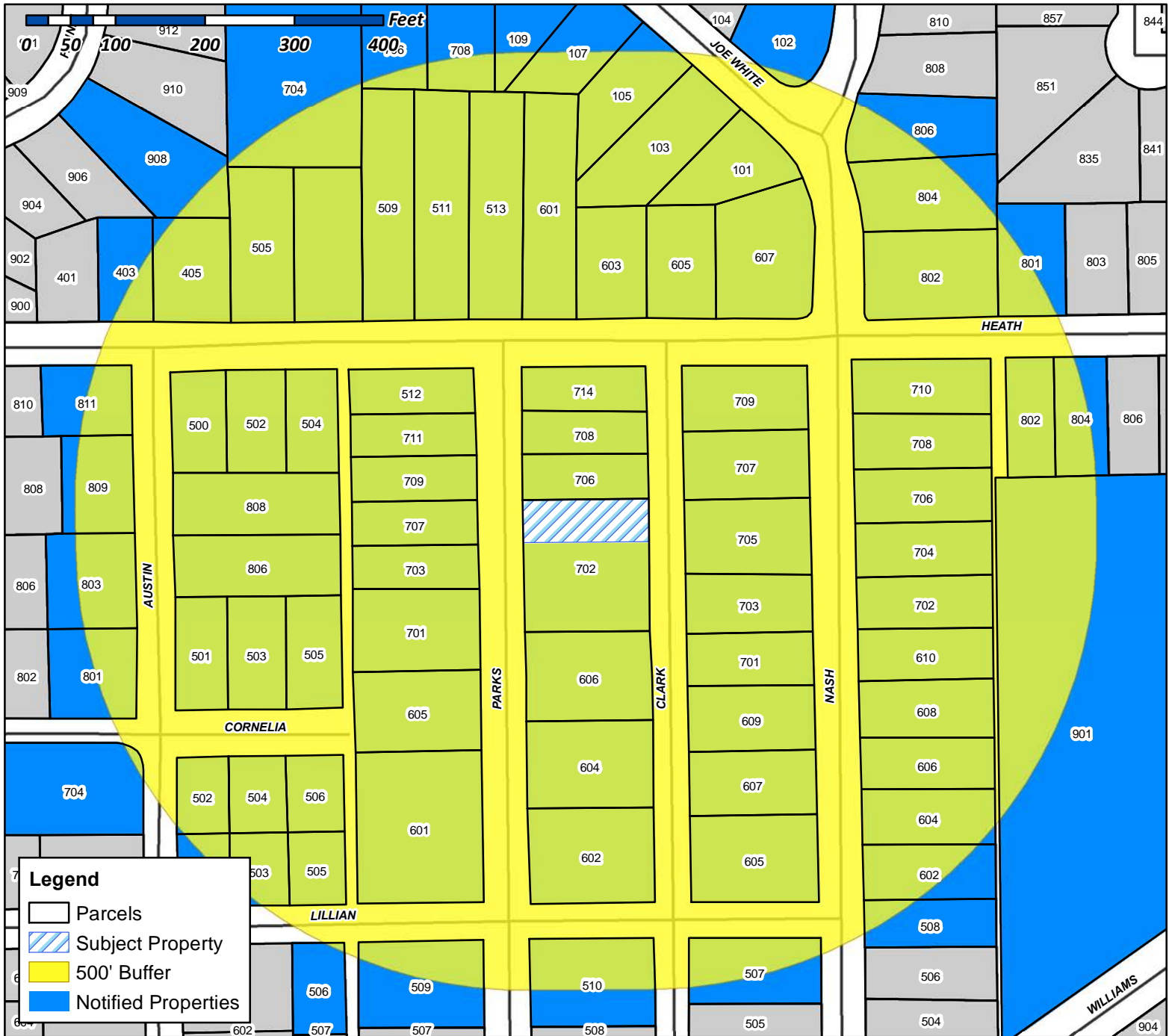
Date Created: 4/15/2021
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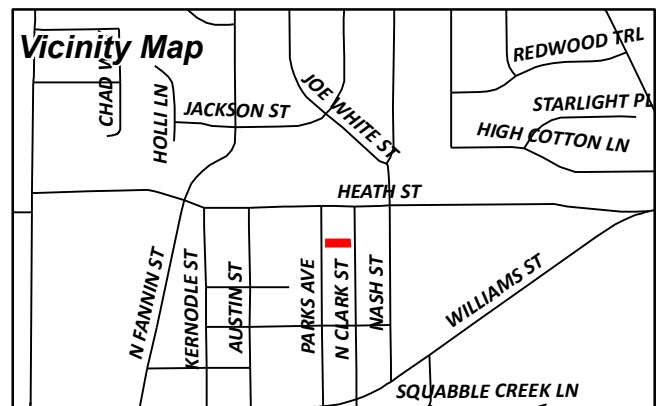
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Date Created: 4/15/2021

For Questions on this Case Call (972) 771-7745

ROLAND RANDY C AND ANDREA B
101 JOE WHITE ST
ROCKWALL, TX 75087

PYLAND KENNETH C & MELANIE M
102 JOE WHITE ST
ROCKWALL, TX 75087

GLASS JERRY R
103 JOE WHITEST
ROCKWALL, TX 75087

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
105 JOE WHITE ST
ROCKWALL, TX 75087

KRIZAN RASTISLAV
107 JOE WHITE
ROCKWALL, TX 75087

PEOPLES JIMMIE DALE
109 JOE WHITE ST
ROCKWALL, TX 75087

SABRSULA MELISSA
1571 ANNA CADE RD
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
2 MANOR CT
HEATH, TX 75032

HENRY AMANDA A
205 S CLARK
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

PARK ALLEN
2301 LAFAYETTE DR
HEATH, TX 75032

BLAZEK ALVIN F & DOROTHY H
2614 W 10TH ST
DALLAS, TX 75211

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

BREWER SHERI RENEE
30113 TROUTDALE SCENIC DR
EVERGREEN, CO 80439

LASKY KRISTINE ELIZABETH
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

ZYLKA JOE AND BONNIE
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

WALLS JEFFREY V & NATALIE ANN
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HEATH, TX 75126

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TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
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PARK ALLEN
405 E HEATH ST
ROCKWALL, TX 75087

HODGES PATRICK L
481 ARCADIA WAY
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
503 CORNELIA
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC
503 LILLIANST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
504 CORNELIA
ROCKWALL, TX 75087

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504 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
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ROCKWALL, TX 75087

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UC RUBEN & EDITH CORTE DE
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CAWTHON RICK
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RICHARDSON PATRICE
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ROCKWALL, TX 75087

COATS LOIS LOUISE
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GREENAWALT PATRICK AND COURTNEY
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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

STEGALL VENTURES LLC
601 SUNSET HILL DRIVE
ROCKWALL, TX 75087

STARK ROBERT C
601 E HEATH ST
ROCKWALL, TX 75087

SIMMONS APRIL R
602 NASH STREET
ROCKWALL, TX 75087

LEAL ROLAND & CAROL
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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

TORRES ROSIE
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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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HANSON BRANDON R
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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS
704 NASH ST
ROCKWALL, TX 75087

RUSHING BRIAN AND
CHANEL KENTOPP
705 NASH ST
ROCKWALL, TX 75087

ZYLKA PENNI R
706 JACKSON ST
ROCKWALL, TX 75087

ARELLANO JESUS L &
CYNTHIA A HERRERA
706 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

MCCLAIN LOUETTA
707 NASH ST
ROCKWALL, TX 75087

BELANGER CORKY
707 PARKS AVE
ROCKWALL, TX 75087

LASKY KRISTINE ELIZABETH
708 JACKSON ST
ROCKWALL, TX 75087

SABRSULA MELISSA
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ROCKWALL, TX 75087

BREWER SHERI RENEE
709 NASH ST
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE ST
ROCKWALL, TX 75087

KING MISTY
710 NASH STREET
ROCKWALL, TX 75087

NIXON ALBERT
711 PARKS AVE
ROCKWALL, TX 75087

PALMER LINDA C
714 PARKS AVE
ROCKWALL, TX 75087

BEASLEY GEORGE
801 AUSTIN ST
ROCKWALL, TX 75087

WIMPEE TYLER
801 E HEATH STREET
ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA
802 E HEATH ST
ROCKWALL, TX 75087

STEGALL VENTURES LLC
802 NASH ST
ROCKWALL, TX 75087

SILVA MANUEL
803 AUSTIN ST
ROCKWALL, TX 75087

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806 AUSTIN ST
ROCKWALL, TX 75087

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806 NASH ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
808 AUSTIN ST
ROCKWALL, TX 75087

KINDRED ROBERT M
809 AUSTIN ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
8916 MEADOW KNOLL
DALLAS, TX 75243

ROCKWALL ASSEMBLY OF GOD
C/O DAVID SPIEGEL
901 WILLIAMS ST
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
908 N FANNIN ST
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

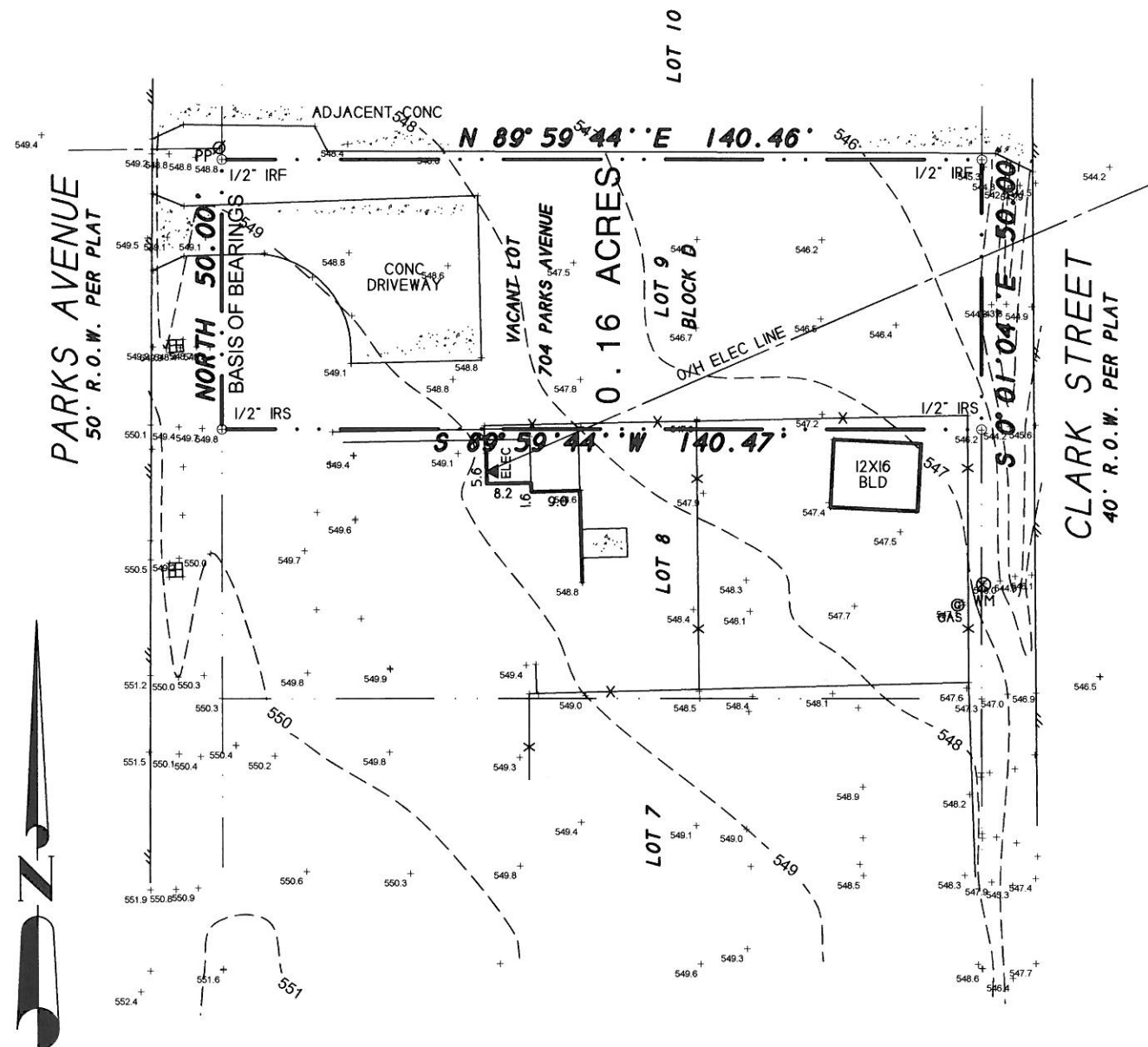
KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

ROCKWALL ASSEMBLY OF GOD
C/O DAVID SPIEGEL
PO BOX 33
ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS
PO BOX 511
FATE, TX 75087

AWAJA PROPERTIES LLC
PO BOX 811
ROYSE CITY, TX 75189

PLAT OF SURVEY



SURVEY ACCEPTED BY:

_____ DATE _____

_____ DATE _____

DESCRIPTION

BEING Lot 9, Block D, Fores Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 704 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty III, R.P.L.S. No. 5034

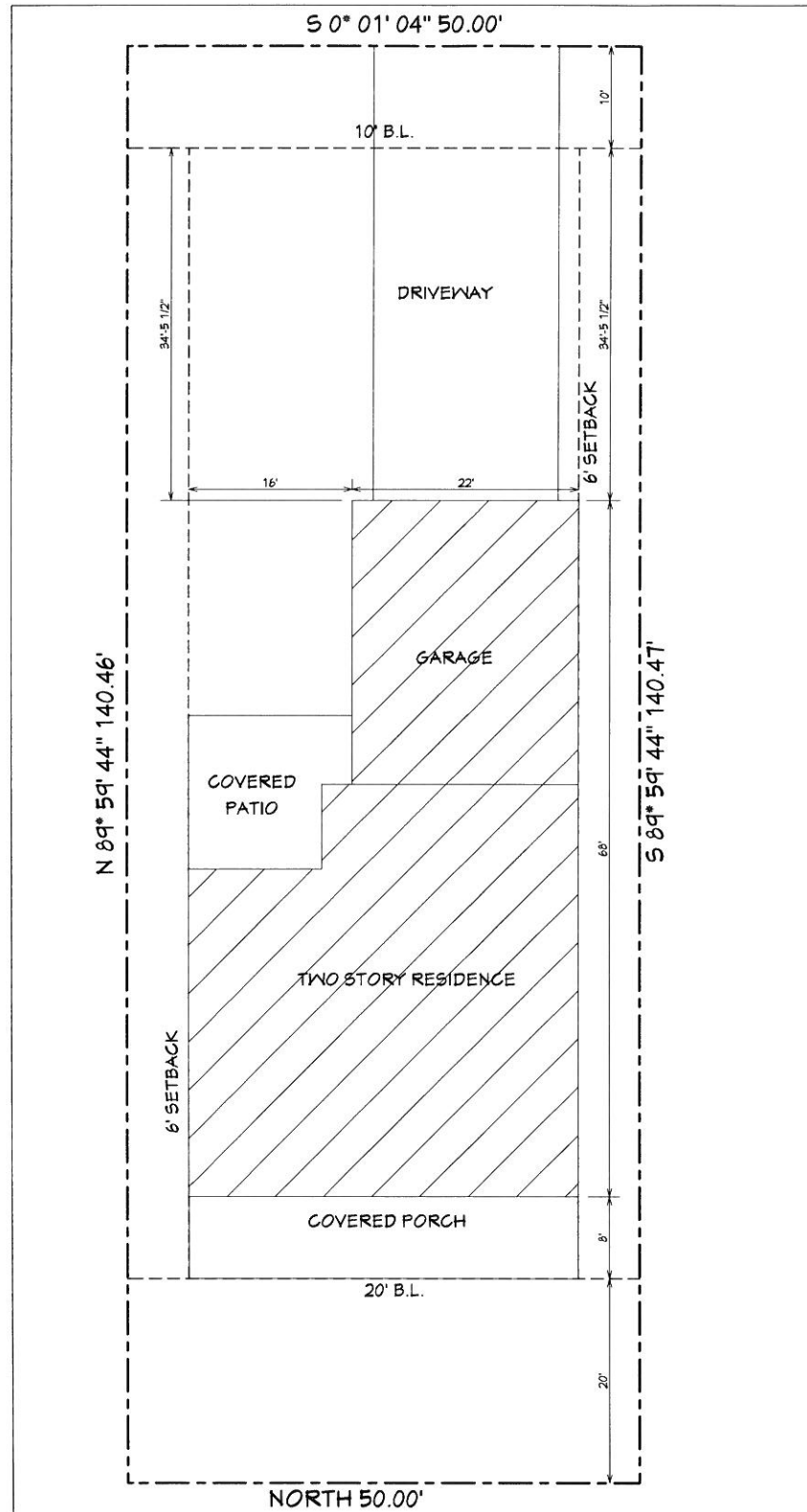


SYMBOL LEGEND				
⊙	⊗	⊕	⊖	⊚
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE
⊠	⊡	⊗	⊙	⊚
ELEC. METER	ELEC. BOX	WATER METER	LP LIGHT POLE	1/2" IRS IRON ROD FOUND IN CORNER
⊗	⊡	⊗	⊙	⊚
FENCE	EASEMENT LINE	PROPERTY LINES	A/C UNIT	PROPANE TANK

SURVEY DATE OCTOBER 1, 2018
 SCALE 1" = 30' FILE # 20180297-9
 CLIENT WARDELL GF # 188487-10GH

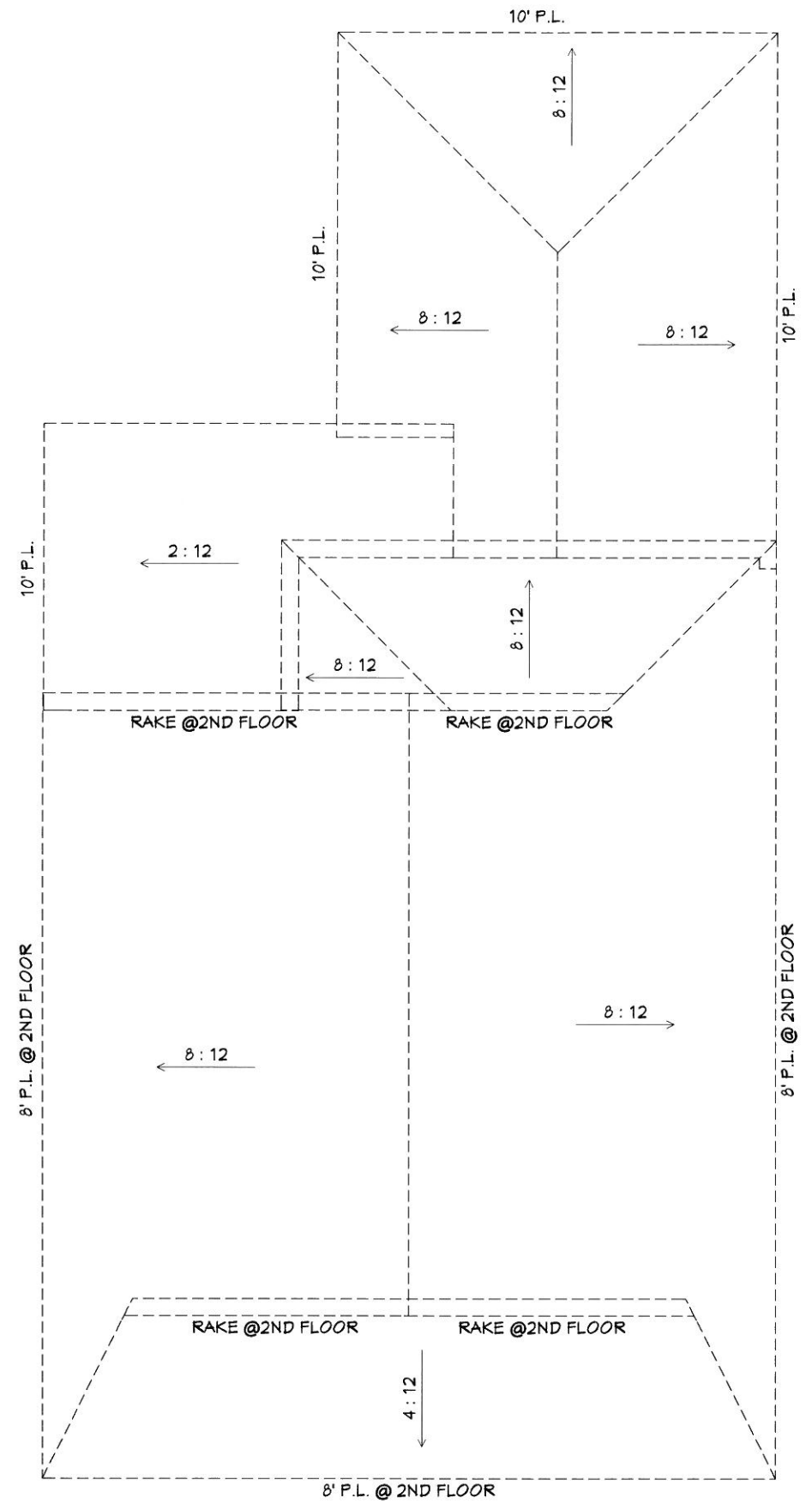
H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



① SITE PLAN
SCALE: 1/8"=1'

NOTE:
 1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS



② ROOF PLAN
SCALE: 1/4"=1'

PLANS FOR:
 BARRON RESIDENCE
 SCOTT AND SHEVANN BARRON
 704 PARKS AVENUE
 ROCKWALL, TEXAS 75087

TITLE:
 SITE PLAN / ROOF PLAN

SHANNON NEWBOM MARK NEWBOM
GADAZIGN
 ROYSE CITY, TEXAS 75189
 469-336-4863
 DRAWN BY:

DATE:
 1/25/2021

SCALE:
 AS SHOWN

SHEET:
A-2



① **FRONT ELEVATION**
SCALE: 1/4"=1'



② **REAR ELEVATION**
SCALE: 1/4"=1'

PLANS FOR:
BARRON RESIDENCE
SCOTT AND SHEVANN BARRON
704 PARKS AVENUE
ROCKWALL, TEXAS 75087

TITLE:
FRONT AND REAR ELEVATIONS

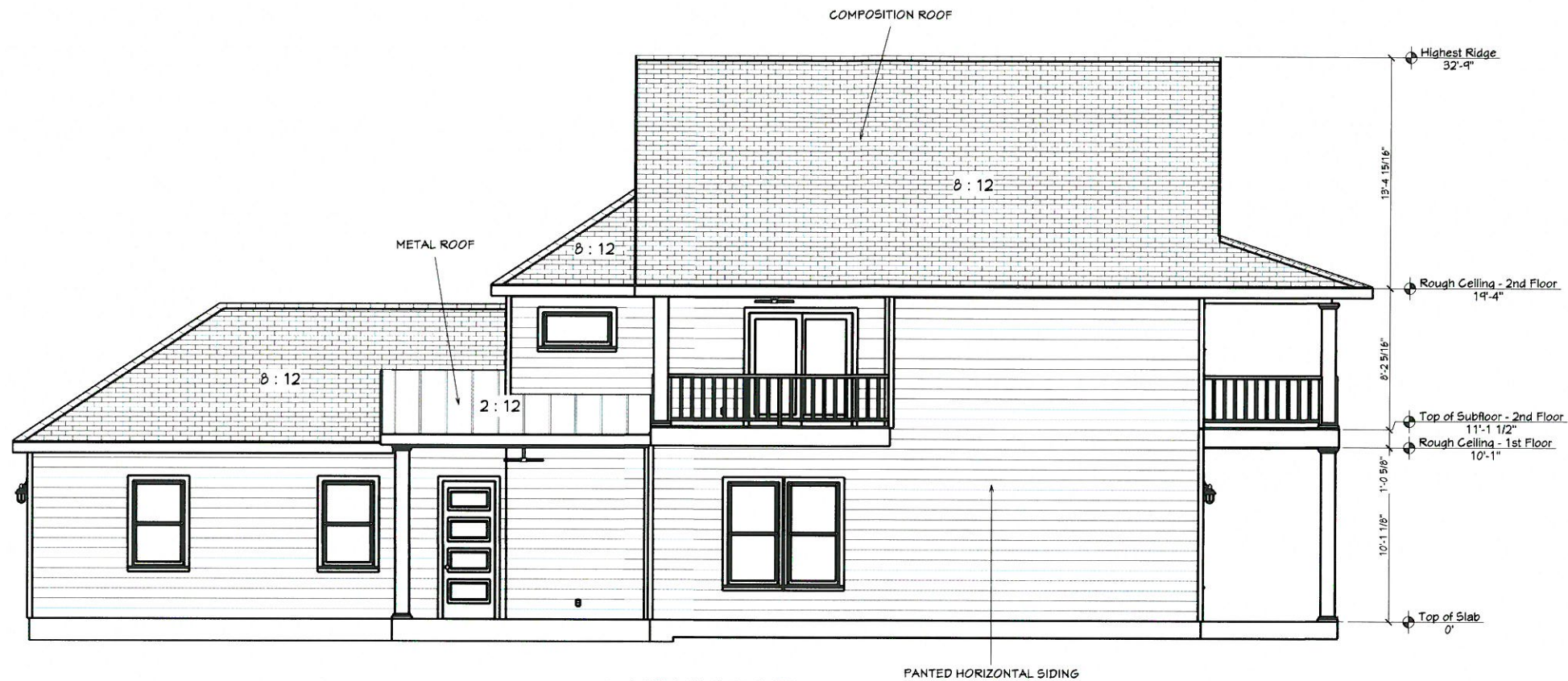
SHANNON NEWBOM MARK NEWBOM
GADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
1/25/2021

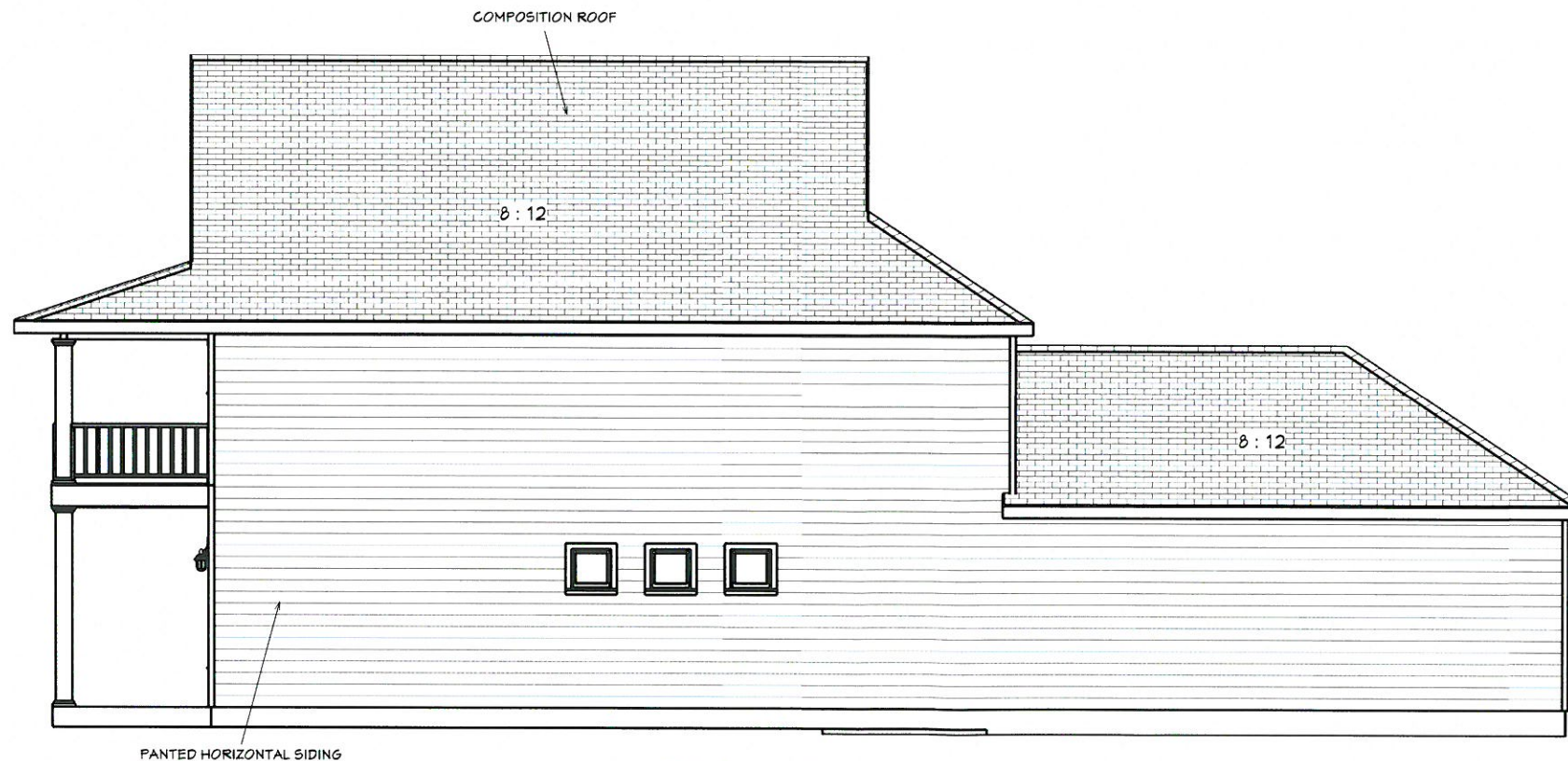
SCALE:
AS SHOWN

SHEET:

A-3



① LEFT ELEVATION
SCALE: 1/4"=1'



② RIGHT ELEVATION
SCALE: 1/4"=1'

PLANS FOR:
BARRON RESIDENCE
SCOTT AND SHEVANN BARRON
704 PARKS AVENUE
ROCKWALL, TEXAS 75087

TITLE:
LEFT AND RIGHT ELEVATIONS

SHANNON NEWBOM MARK NEWBOM
CADAZIGN
ROYSE CITY, TEXAS 75184
469-338-9863
DRAWN BY:

DATE:
1/25/2021

SCALE:
AS SHOWN

SHEET:

A-4

BARRON RESIDENCE



PERSPECTIVE VIEW
NTS

GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVERY EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2 x 4.
2. ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETS.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title	Description	Comments
A-1	COVER SHEET		
A-2	SITE PLAN / ROOF PLAN		
A-3	FRONT AND REAR ELEVATIONS		
A-4	LEFT AND RIGHT ELEVATIONS		
A-5	FLOOR PLAN W/ DIMENSIONS		
A-6	DOOR & WINDOW SCHEDULE		
A-7	ELECTRICAL PLAN		

PLANS FOR:
BARRON RESIDENCE
SCOTT AND SHEYANN BARRON
704 PARKS AVENUE
ROCKWALL, TEXAS 75087

TITLE:
COVER SHEET

SHANNON NENSON
MARK NENSON
GADAZIGN
ROYSE CITY, TEXAS 75189
469-336-4863
DRAWN BY:

DATE:
1/25/2021

SCALE:
AS SHOWN

SHEET:

A-1

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
601 Parks Avenue	Single-Family Home	1929	2,264	N/A	Brick
602 Parks Avenue	Single-Family Home	1940	2,192	360	Siding
604 Parks Avenue	Single-Family Home	1955	1,873	480	Brick
605 Parks Avenue	Single-Family Home	1948	1,759	400	Siding
606 Parks Avenue	Single-Family Home	1990	1,468	100	Siding
610 Parks Avenue	Single-Family Home	2020	2,727	N/A	Siding
701 Parks Avenue	Single-Family Home	1980	1,269	240	Brick
702 Parks Avenue	Single-Family Home	2020	3,636	N/A	Siding
703 Parks Avenue	Single-Family Home	1990	960	240	Siding
704 Parks Avenue	RCAD Indicates Vacant		Subject Property		
706 Parks Avenue	Single-Family Home	1981	1,087	100	Brick
707 Parks Avenue	Single-Family Home	1995	946	255	Siding
708 Parks Avenue	Single-Family Home	1985	1,361	120	Brick
709 Parks Avenue	Single-Family Home	1992	1,081	160	Siding
711 Parks Avenue	Single-Family Home	1975	1,164	100	Siding
712 Parks Avenue	Single-Family Home	1961	1,120	N/A	Brick
714 Parks Avenue	Single-Family Home	1981	1,361	N/A	Brick
Averages:		1978	1,642	240	



601 Parks Avenue



602 Parks Avenue



604 Parks Avenue



605 Parks Avenue



606 Parks Avenue



610 Parks Avenue



701 Parks Avenue



702 Parks Avenue



703 Parks Avenue



706 Parks Avenue



707 Parks Avenue



708 Parks Avenue



709 Parks Avenue



711 Parks Avenue



712 Parks Avenue



714 Parks Avenue

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.16-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 9, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Michael Morgan for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.16-acre parcel of land being described as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Parks Avenue, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF JUNE, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

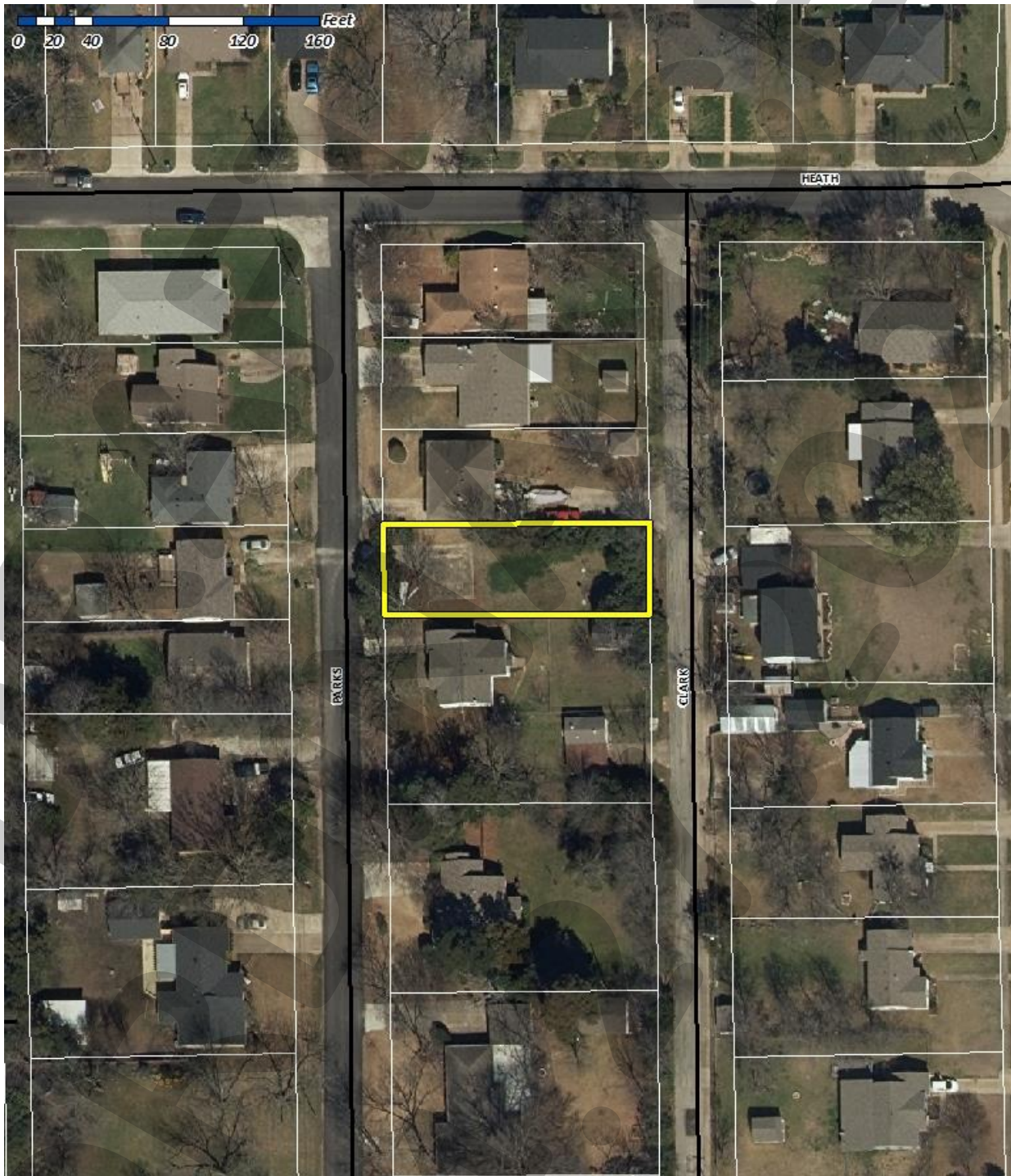
1st Reading: May 17, 2021

2nd Reading: June 7, 2021

Exhibit 'A'
Location Map and Survey

Address: 704 Parks Avenue

Legal Description: Lot 9, Block D, Foree Addition



**Exhibit 'B':
Residential Plot Plan**

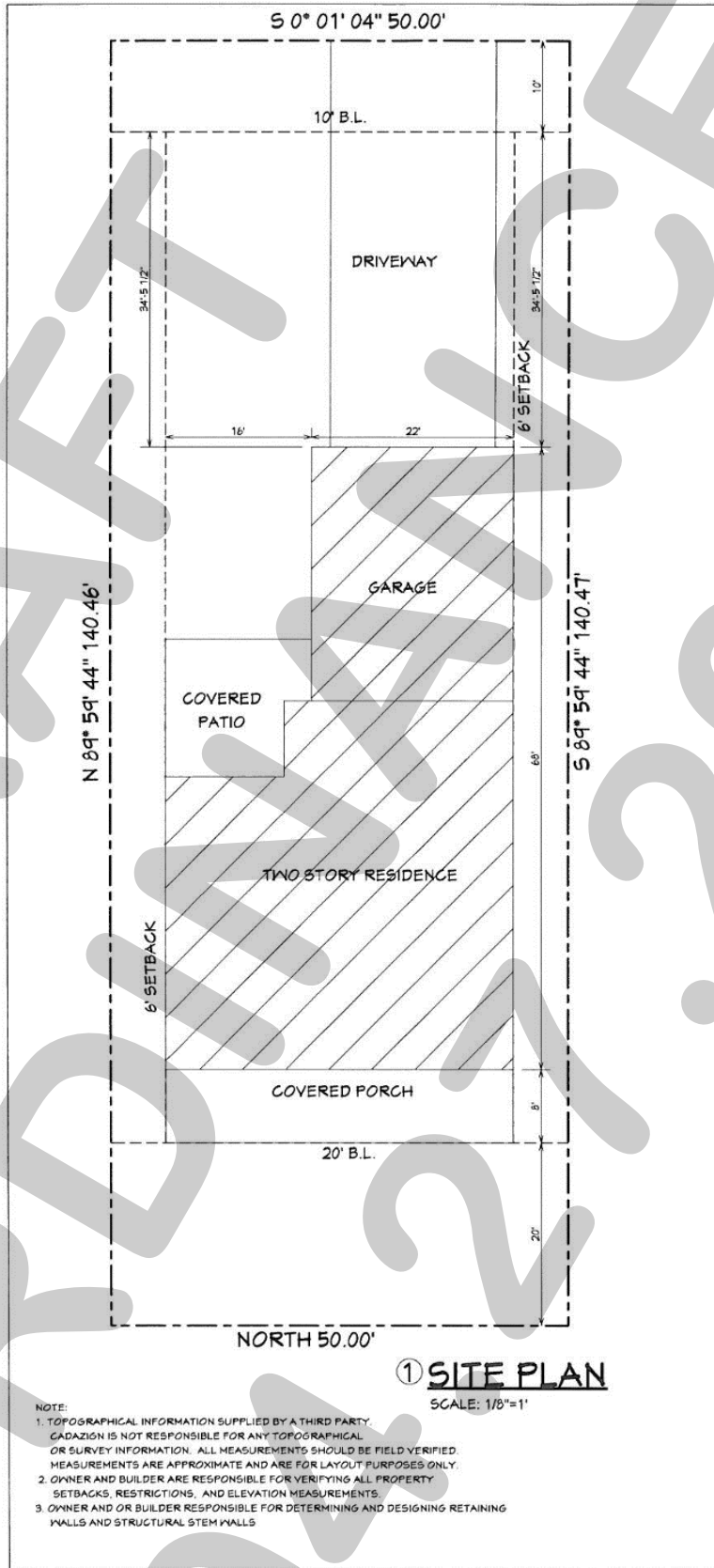


Exhibit 'C':
Building Elevations



PANTED HORIZONTAL SIDING

1 FRONT ELEVATION
SCALE: 1/4"=1'



COMPOSITION ROOF

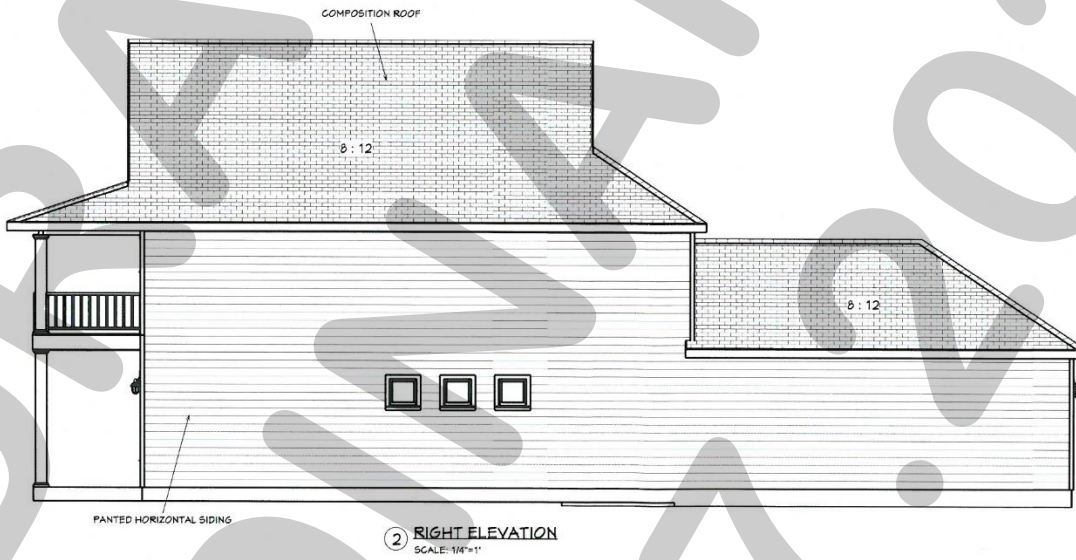
8 : 12

PANTED HORIZONTAL SIDING

8 : 12

2 REAR ELEVATION
SCALE: 1/4"=1'

**Exhibit 'C':
Building Elevations**



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/22/2021

PROJECT NUMBER: Z2021-010
PROJECT NAME: SUP for 1748 Lake Breeze Drive
SITE ADDRESS/LOCATIONS: 1748 LAKE BREEZE DR, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) superseding Ordinance No. 20-34 and allowing an accessory building that does not conform to S-231 [Ordinance No. 20-34] on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	David Gonzales	04/21/2021	Needs Review

04/21/2021: Z2021-010; Amending Specific Use Permit for Accessory Structure at 1748 Lake Breeze Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) superseding Ordinance No. 20-34 and allowing an accessory building that does not conform to S-231 [Ordinance No. 20-34] on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

I.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Specific Use Permit (SUP) that are applicable to the subject property.

M.4 Please review and provide red-lined mark-ups of any changes to the Specific Use Permit (SUP) [i.e. Draft Ordinance] you feel may be necessary for your proposed project and return to staff no later than May 4, 2021 for review and consideration.

(A) Proposed operational conditions of the SUP Ordinance:

The following conditions pertain to the operation of an Accessory Building on the Subject Property and conformance to these conditions are required for continued operations:

- (1) The Accessory Building shall generally conform to the concept plan and the conceptual building elevations depicted in Exhibits 'B' & 'C' of this ordinance.
- (2) The Accessory Building shall not exceed a maximum size of 570 SF (i.e. 330 SF - 1st floor & 240 SF – 2nd floor).
- (3) The Accessory Building shall not exceed a height of more than 19-feet, 9-inches.
- (4) The subject property shall not have more than one (1) accessory building.

I.5 Please note the scheduled meetings for this case:

- (1) Planning & Zoning work session meeting will be held on April 27, 2021.
- (2) Planning & Zoning Public Hearing will be held on May 11, 2021.
- (3) City Council Public Hearing will be held on May 17, 2021. [1st Reading of Ordinance]
- (4) City Council regular meeting will be held on June 7, 2021. [1st Reading of Ordinance]

I.6 All meetings will be held in person in the City's Council Chambers and are scheduled to begin at 6:00 PM. The City requires that a representative(s) be present for all scheduled meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Approved w/ Comments

04/22/2021: 1 - Need to install rock/stone on the retaining wall.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved

04/22/2021: 1. NEED TO REMOVE ROOF FROM FENCE.
2. NO LOT TO LOT DRAINAGE.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/21/2021	Needs Review

04/21/2021: Need a site plan that shows the distance from property lines for the fire-rated separation requirements.
Need building construction plans for review.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	04/22/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

04/19/2021: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING ZONING CASE NO. 22021-010

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1748 LAKE BREEZE DR.

SUBDIVISION Hillcrest Shores

LOT 6 BLOCK 0

GENERAL LOCATION 1748 Lake Breeze

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-11

CURRENT USE Residential

PROPOSED ZONING _____

PROPOSED USE Residential

ACREAGE 0.2297

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MARK KLECHA

APPLICANT SAME

CONTACT PERSON

CONTACT PERSON

ADDRESS 1748 LAKE BREEZE DR.

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP

PHONE (402) 315-8387

PHONE

E-MAIL markklecha@hotmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

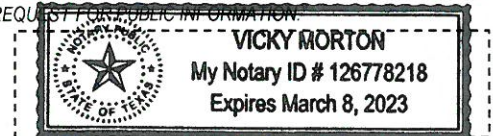
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARK KLECHA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

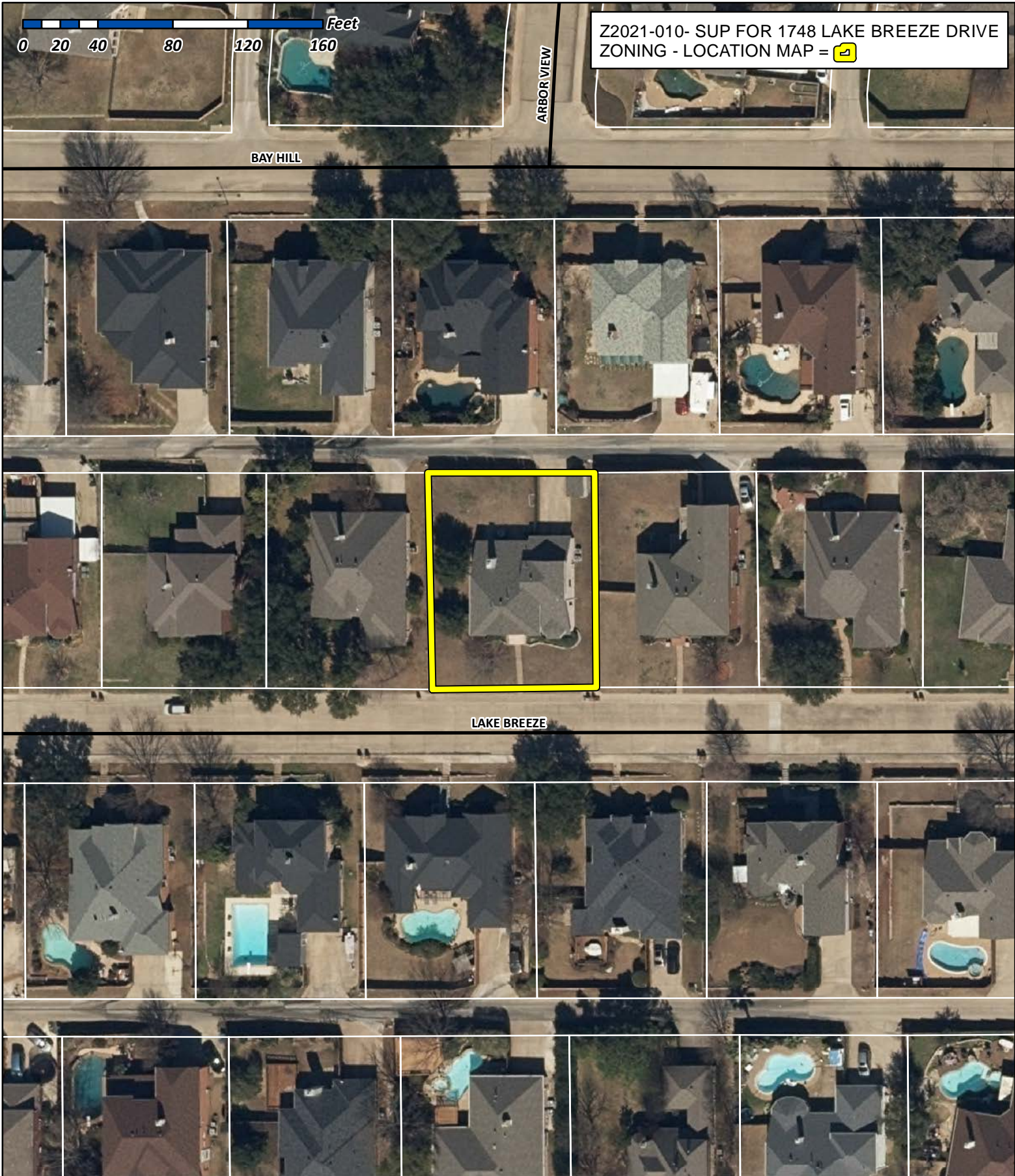
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF April, 20 21

OWNER'S SIGNATURE Mark Klecha

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Vicky Morton



MY COMMISSION EXPIRES March 8, 2023



Z2021-010- SUP FOR 1748 LAKE BREEZE DRIVE
ZONING - LOCATION MAP = [icon]

0 20 40 80 120 160 Feet

ARBOR VIEW

BAY HILL

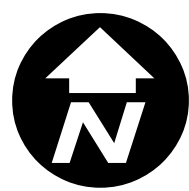
LAKE BREEZE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

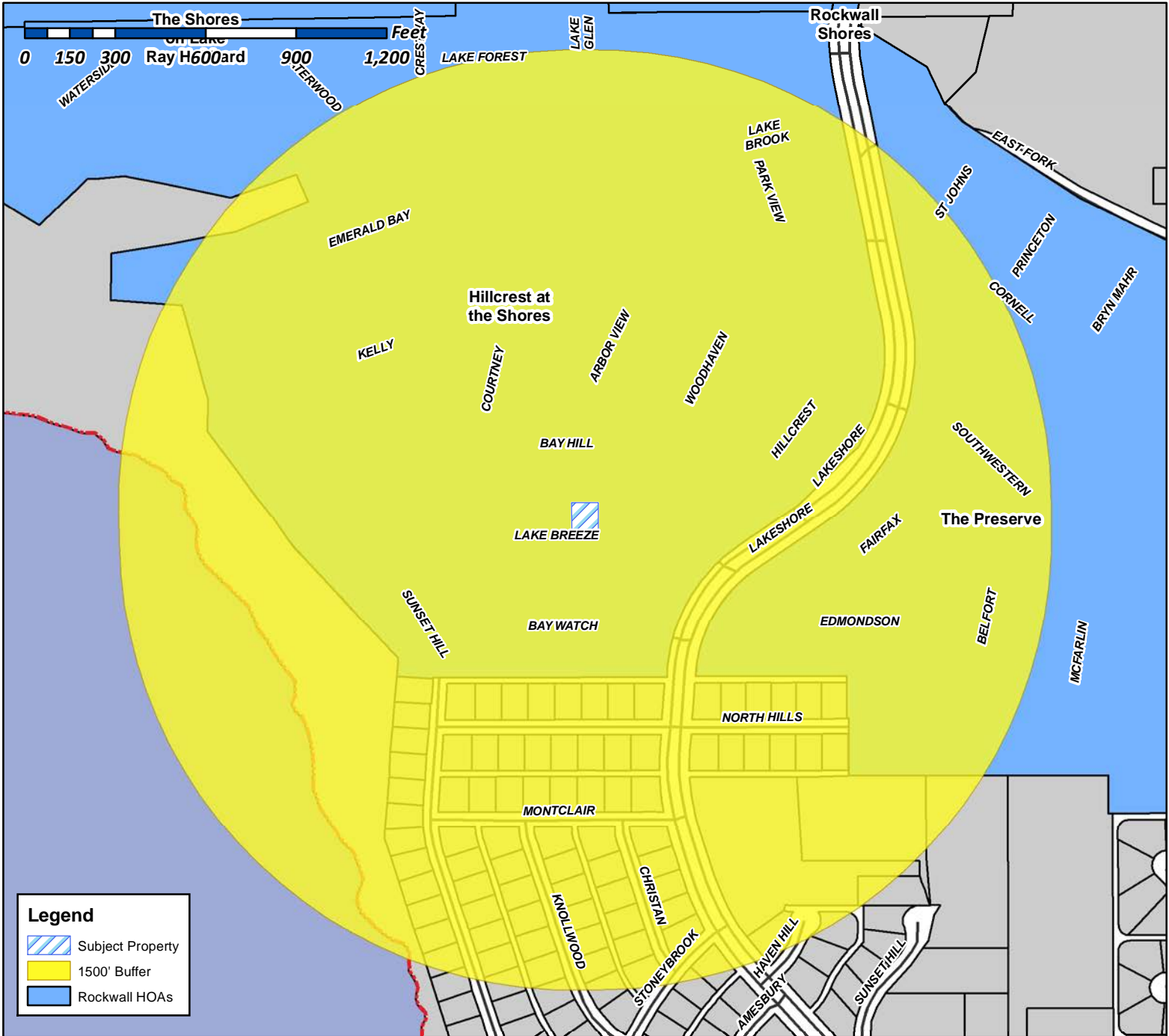




City of Rockwall

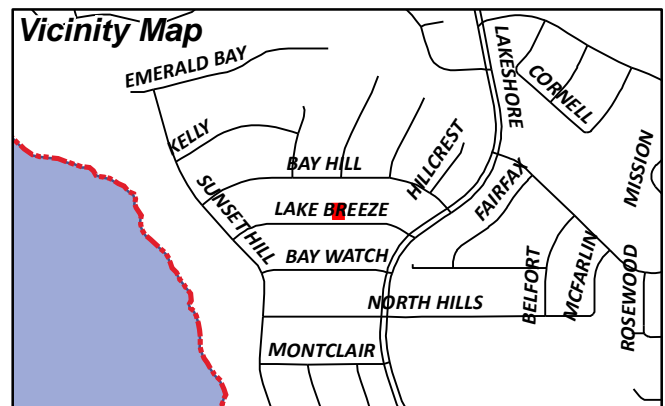
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-010
Case Name: SUP for Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 11 (PD-11)
Case Address: 1748 Lake Breeze Drive

Date Created: 4/16/2021
For Questions on this Case Call (972) 771-7745





City of Rockwall

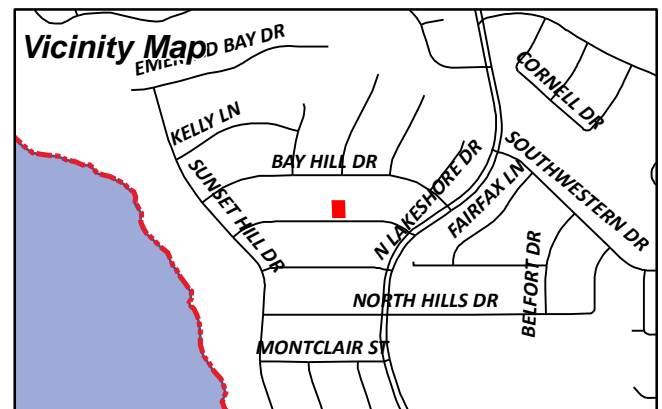
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For Questions on this Case Call (972) 771-7745



MATHIAS ERIC J & ROBIN A
1011 HILLCREST CIR
ROCKWALL, TX 75087

ANDERSON SALLY LESIL & STEVE
1017 COURTNEY CIRCLE
ROCKWALL, TX 75087

BAUCHMAN NANCY
1019 WOODHAVEN CIR
ROCKWALL, TX 75087

DORN KEITH
1020 ARBOR VIEW PL
ROCKWALL, TX 75087

SANDMAN DAVID & VALERIE
1020 COURTNEY CIR
ROCKWALL, TX 75087

HAUER MELVIN C & VIRGINIA L
1020 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

LOGAN WINFRED BART & TRACEY
1021 ARBOR VIEW PL
ROCKWALL, TX 75087

MAURHOFF MARGARET L AND
MICHAEL J VEREB
1025 COURTNEY CIRCLE
ROCKWALL, TX 75087

WEBER MATTHEW J AND THERESA M
1027 ARBOR VIEW PL
ROCKWALL, TX 75087

HOVERMAN BRYAN AND KELLIE
1029 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

BENAVIDES RAPHAEL G & MARY A
1030 ARBOR VIEW PL
ROCKWALL, TX 75087

MULLINAX STEVE WAYNE & DEBBIE S
1030 COURTNEY CIR
ROCKWALL, TX 75087

CORRIGAN DERRICK & STEFANIE
1030 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

ABRAMSKY SAMUEL & CHRISTI
1033 ARBOR VIEW PL
ROCKWALL, TX 75087

FLEMING ERIC AND DEIDRE
1033 COURTNEY CIR
ROCKWALL, TX 75087

WARD PATRICK C
1037 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

BEATY SUSAN J
1038 COURTNEY CR
ROCKWALL, TX 75087

MATSUMOTO SHINTARO
C/O OPEN HOUSE CO., LTD
1039 ARBOR VIEW PL
ROCKWALL, TX 75087

MAY RICHARD A & LISA A
1040 ARBOR VIEW PL
ROCKWALL, TX 75087

SMETANA JOSEPH JR & ANGEL P
1046 COURTNEY CIR
ROCKWALL, TX 75087

RESTER J TREVER & MICHELLE
1047 ARBOR VIEW PL
ROCKWALL, TX 75087

PETTIT PAUL & PAMELA
1048 ARBOR VIEW PL
ROCKWALL, TX 75087

WRIGHT LARRY G & JENNIFER
1054 COURTNEY CIRCLE
ROCKWALL, TX 75087

MATHIAS ERIC J & ROBIN A
1514 MALLARD HVN
SAN ANTONIO, TX 78260

LAGRANGE DONALD AND AMY C
1596 EDMONDSON TRAIL
ROCKWALL, TX 75087

JONES LALANII
1597 EDMONDSON TRAIL
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
1602 NORTH HILLSDR
ROCKWALL, TX 75087

KLUTTS BEN A JR & JULIE C
1604 N HILLS DR
ROCKWALL, TX 75087

WATSON MATTHEW W & JAMIE D
1606 NORTH HILLS DRIVE
ROCKWALL, TX 75087

CONNALLY DAVID & VICKIE
1608 N HILLS DR
ROCKWALL, TX 75087

CONFIDENTIAL
1610 NORTH HILLS DRIVE
ROCKWALL, TX 75087

JOHNSON CLARENCE R & CASANDRA L
1704 BAY WATCH DR
ROCKWALL, TX 75087

SIMS DAVID E AND ANITA L
1704 LAKE BREEZE DR
ROCKWALL, TX 75087

LYNCH CHRISTOPHER J
1705 BAY WATCH DRIVE
ROCKWALL, TX 75087

RYAN JEFFREY & DARLA
1705 BAYHILL DR
ROCKWALL, TX 75087

CONFIDENTIAL
1707 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

PAULSEN LOGAN & BRANDI A
1712 BAY WATCH DRIVE
ROCKWALL, TX 75087

VAUGHN STEPHEN MICHAEL
1712 LAKE BREEZE DR
ROCKWALL, TX 75087

WHITAKER MARTIN & DORIS
1715 BAY WATCH DR
ROCKWALL, TX 75087

REPMAN MARK &
MICHELLE BASTIDAS
1715 BAYHILL DR
ROCKWALL, TX 75087

TAYLOR MICHAEL JOSEPH JR AND HEATHER L
1717 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

PEDDIE STACIE
1720 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

KEETON KENNETH W & REBECCA
1722 BAY WATCH DR
ROCKWALL, TX 75087

HIETBRINK BERNARD D & MELISSA L
1725 BAY WATCH DR
ROCKWALL, TX 75087

VILLARREAL GLORIA M & JOSE C
1727 BAY HILL DR
ROCKWALL, TX 75087

KETON JAMES H & JEANNETTE S
1727 LAKE BREEZE DR
ROCKWALL, TX 75087

HIGGINS BRADLEY STEPHEN AND
AMANDA JO BURT HIGGINS
1730 LAKE BREEZE DR
ROCKWALL, TX 75087

BREEN ROBERT AND LAURA
1732 BAY WATCH DR
ROCKWALL, TX 75087

WHALIN GREGORY L & TERRI B
1733 BAY WATCH DR
ROCKWALL, TX 75087

LOCKWOOD CHARLES DOUGLAS
1737 BAYHILL DR
ROCKWALL, TX 75087

BOWEN RONALD L & DEANNA K
1737 LAKE BREEZE DR
ROCKWALL, TX 75087

BYROM JOHNNY R & LYNETTE
1738 LAKE BREEZE DR
ROCKWALL, TX 75087

TUBBS LAJUAN C
1740 BAY WATCH DR
ROCKWALL, TX 75087

LANZONE FAMILY LIVING TRUST
CHRIS A LANZONE AND DIANE M LANZONE-
TRUSTEES
1741 BAY WATCH DRIVE
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

PHILLIPS JACOB AND CAREEN NAKHLEH
1747 BAYHILL DRIVE
ROCKWALL, TX 75087

HARRINGTON VIOLET A
1748 BAYWATCH DR
ROCKWALL, TX 75087

KLECHA MARK AND ANGELA
1748 LAKE BREEZE DR
ROCKWALL, TX 75087

AKARD ARTHUR F & DANA D
1751 BAY WATCH DR
ROCKWALL, TX 75087

THOMPSON RONALD G & CAROLYN E
1755 BAYHILL DR
ROCKWALL, TX 75087

BARKER MARK A
1755 LAKE BREEZE DR
ROCKWALL, TX 75087

BOONE WILLIAM R JR & KYOKO N
1756 LAKE BREEZE DR
ROCKWALL, TX 75087

OH SINEUI
1758 BAY WATCHDR
ROCKWALL, TX 75087

WITTIG MILTON G & CYNTHIA J
1759 BAY WATCH DR
ROCKWALL, TX 75087

LOWNDES ROBERT
1763 BAYHILL DR
ROCKWALL, TX 75087

LONDON REV TR
1763 LAKE BREEZE DR
ROCKWALL, TX 75087

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
1764 LAKE BREEZE DR
ROCKWALL, TX 75087

RAY WILLIAM JACKSON AND DAWN MARIE
1766 BAY WATCH DRIVE
ROCKWALL, TX 75087

JACOBSON BRUCE ALLEN & MARGARET
1769 BAY WATCH DR
ROCKWALL, TX 75087

SMITH JAMES & JULIE
1773 BAYHILL DR
ROCKWALL, TX 75087

MEYN RICHARD B & CATHERINE
MEYN FAMILY TRUST
1773 LAKE BREEZE DR
ROCKWALL, TX 75087

HAMILTON DOUGLAS C & JANET K
1774 BAY WATCH DR
ROCKWALL, TX 75087

GUZMAN PATRICIA MARGARITA & THANH
NGUYEN HOANG
1774 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

MOORE KERMIT T & GWENDOLYN R
1781 BAYHILL DR
ROCKWALL, TX 75087

PERALES LIVING TRUST
1781 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

HOLCOMB RICHARD & KATHY
1782 LAKE BREEZE DR
ROCKWALL, TX 75087

CUTLER ELDON GEORGE & THALIA LONE
1790 LAKE BREEZE DR
ROCKWALL, TX 75087

BARBER TRUMAN JOSEPH & BARBARA
1791 BAYHILL DR
ROCKWALL, TX 75087

KING DOROTHY
1793 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

DAVENPORT JAMES & MARYBETH
1798 LAKE BREEZE DR
ROCKWALL, TX 75087

VESTAL JEANETTE & ALSON
1799 BAYHILL DR
ROCKWALL, TX 75087

CRETI DANIEL AND MARTHA TRUST
1803 LAKE BREEZE DR
ROCKWALL, TX 75087

TOM MANLEY PROPERTIES INC
1807 BAY HILL DR
ROCKWALL, TX 75087

DAVIS JIMMY GOLAN AND TATIANA
KAPOUSTINA-DAVIS
1817 BAYHILL DRIVE
ROCKWALL, TX 75087

ARAKI YU
1822 BAY HILL DR
ROCKWALL, TX 75087

KHABAZ ALLEN BLEEDO
1827 BAYHILL DR
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
30601 AGOURA ROAD SUITE 200
AGOURA HILLS, CA 91301

CUTLER ELDON GEORGE & THALIA LONE
40161 E 179TH STREET
KINGSVILLE, MO 64061

VILLARREAL GLORIA M & JOSE C
4914 W 106TH ST
OAK LAWN, IL 60453

OH SINEUI
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

MATSUMOTO SHINTARO
C/O OPEN HOUSE CO., LTD
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

ARAKI YU
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

CRETI DANIEL AND MARTHA TRUST
550 S SILVERADO WAY
ANAHEIM, CA 92807

BREEN ROBERT AND LAURA
661 JUSTIN RD
ROCKWALL, TX 75087

TOM MANLEY PROPERTIES INC
915 SUNSET HILL DRIVE
ROCKWALL, TX 75087

BUILDING WILL BE CONSTRUCTED USING 2x4 FRAMING (16" ON CENTER) WITH SMART SIDING OUTER PANELING.

THE ROOF WILL BE A METAL STANDING SEAM ROOF OVER OSB PLYWOOD SHEETING AND 3016 ROOFING FEET.

THE ROOF TRUSSES WILL BE CONSTRUCTED WITH A 2x12x15 LVL RIDGE BEAM AND 2x6 RAFTERS 16" ON CENTER USING RAFTER HANGERS.

THE STRUCTURE WILL CONNECT TO THE CONCRETE SLAB USING PRESSURE TREATED LUMBER AND $\frac{1}{2}$ " x 5" SLEEVE ANCHORS.

THE GARAGE DOOR WILL BE ROLL-UP WIND RATED DOOR (8'x7') AND THERE WILL BE A STANDARD 3'x7' EXTERIOR DOOR.

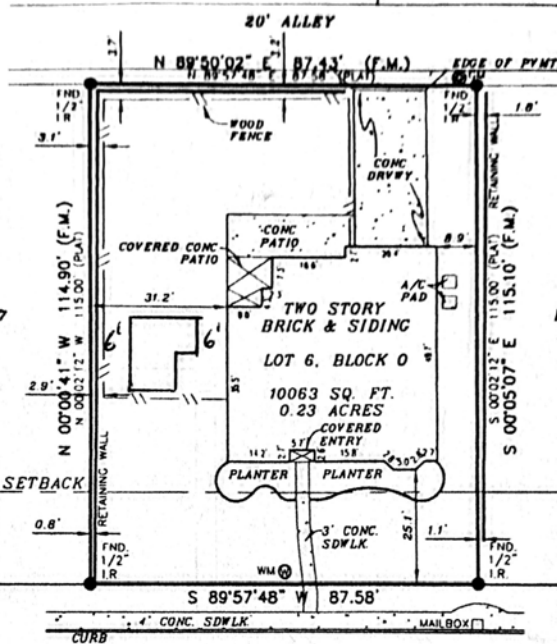
LOT 24

LOT 25

LEGEND

These standard symbols will be found in the drawing

- BOUNDARY LINE
- - - EASEMENT LINE
- · - · BUILDING SETBACK LINE
- · - · WOOD FENCE
- FOUND IRON ROD
- ⊙ GAS METER
- ⊙ WATER METER
- MAIL BOX
- (PLAT) RECORDED ON PLAT
- (F.M.) FIELD MEASURED



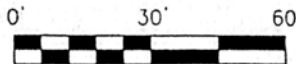
LAKE BREEZE DRIVE
(50' R.O.W.)

LEGAL DESCRIPTION
BEING LOT 6, BLOCK 0 OF HILLCREST SHORES,
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY,
TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN
CABINET C, SLIDE 199, PLAT RECORDS, ROCKWALL COUNTY,
TEXAS.

FLOOD INSURANCE NOTE By graphics plotting only,
this property is in ZONE X of the
Flood Insurance Rate Map, Community Panel No
48397C-0030 L, effective date of SEPTEMBER 26, 2008
Exact designations can only be determined by a
Elevation Certificate. Based on the above information,
this property IS NOT in a Special Flood Hazard Area.

SURVEYOR'S NOTE:
BASIS OF BEARING, RECORDED
PLAT UNLESS OTHERWISE NOTED.

GRAPHIC SCALE

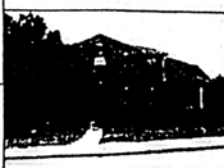


I, ROY JOHN RONNFELDT, a Registered Professional Land Surveyor in the State of Texas,
do hereby certify to HEXTER-FAIR TITLE COMPANY
and

that the above map is true and correct according to an actual field survey, made by me on the ground or
under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further
certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except
as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent
discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way
as of the date of the field survey. I further certify that this survey meets or exceeds the
minimum standards established by the Texas Board of Professional Land Surveying (Section 653.18).
Lot(s) 6, Block 0, N.C.B. ---, Survey No. ---, Abstract No. ---
Survey or Subdivision: HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL
Cabinet C, Slide(s) 199-200, of the Map/Deed and Plat Records of ROCKWALL County, Texas
Borrower/Owner: CHARLES M. HUSTON AND KENDALL HUSTON
Address: 1748 LAKE BREEZE DRIVE GP No. PL11619416

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN
VOLUME 961, PAGE 176, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS
VOLUME 1121, PAGE 25, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS

PROPERTY PHOTOGRAPH



FINAL "AS-BUILT" SURVEY

JOB NO.	NO.	REVISION	DATE
1105006367			
DATE:	05/27/11		
DRAWN BY:	UN/HM		
APPROVED BY:	RJR		

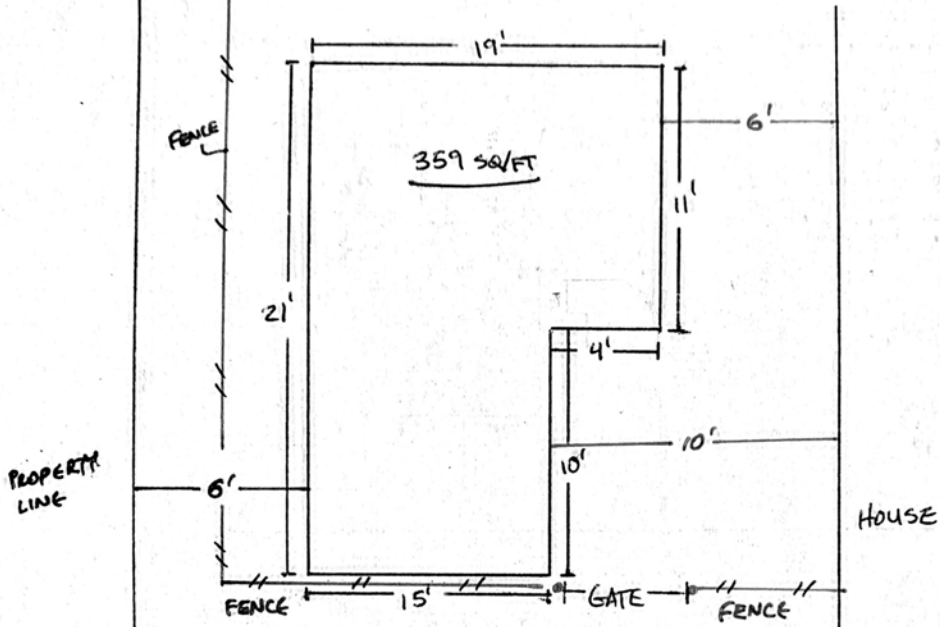


Roy John Ronnfeldt
ROY JOHN RONNFELDT, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 3520

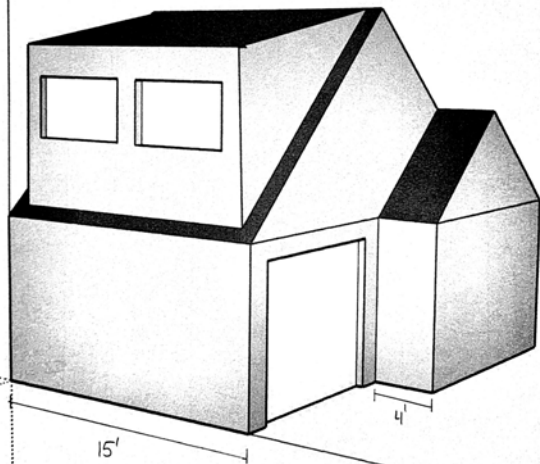
AMERISURVEYORS, LLC
11711 Warfield Road, San Antonio, Texas 78216
Phone: (214) 972-0066 Fax: (214) 968-9662

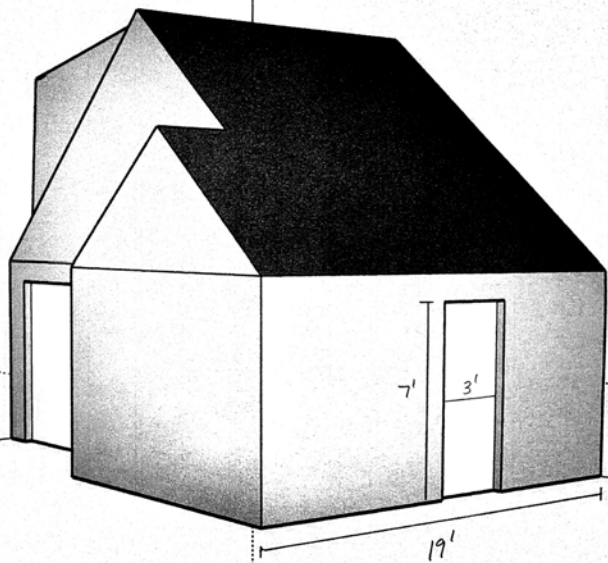
* NEW DESIGN DUE TO SET-BACK REQUIREMENTS.

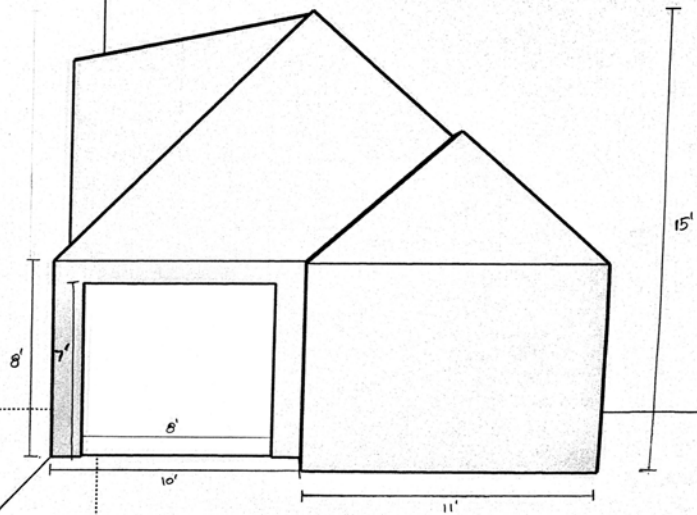
* 6' SET-BACK ON PROPERTY LINE AND NEWLY ESTABLISHED SET-BACK FOR THE HOUSE - WHICH IS 6' INSTEAD OF 10' (SEE CRAIG FOSHEE EMAIL)



* HAD TO CHANGE THE BUILDING SHAPE DUE TO THE GATE LOCATION.









1748

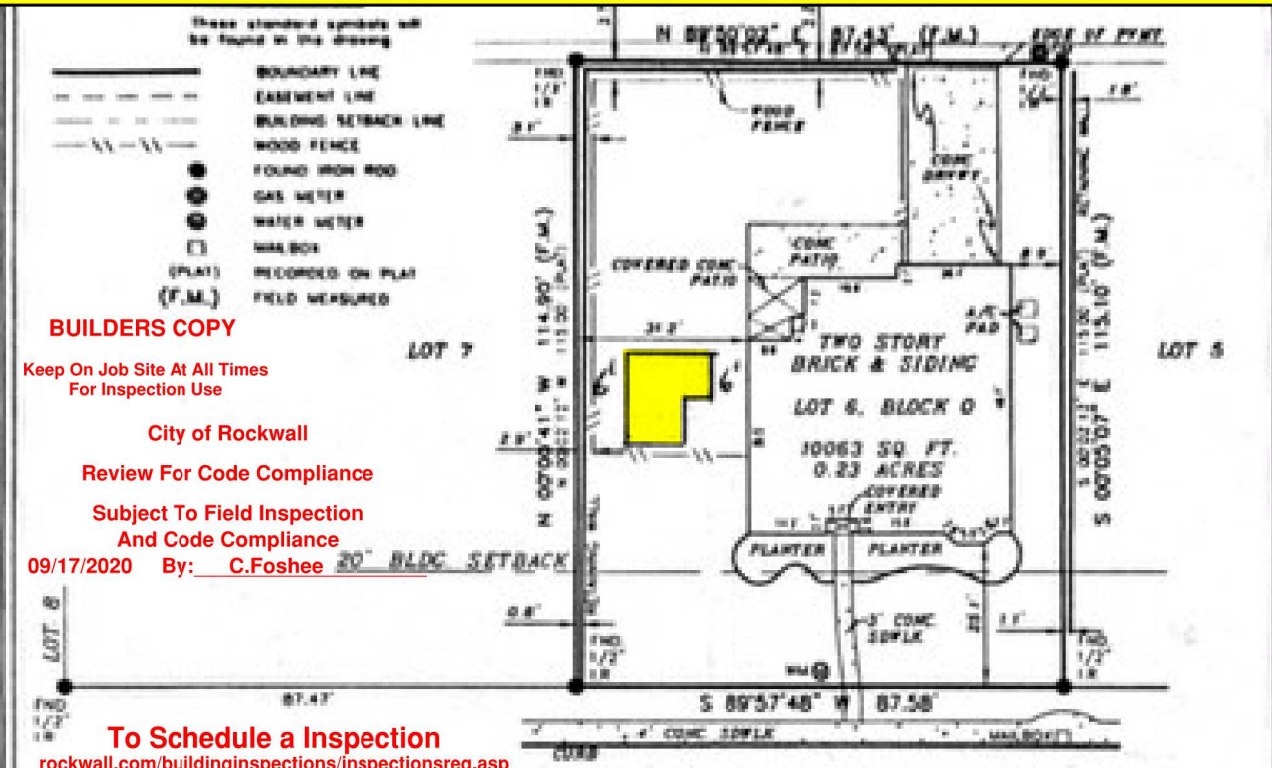






CONSTRUCTION CODES – 2015 International Residential Code & 2014 NEC Code and local amendments. ELECTRICAL PERMIT WILL BE REQUIRED FOR ANY NEW INSTALLATIONS. Minimum separation from other structures 6 ft. Maximum height of structure 15 ft. Minimum side setback 6 feet. Minimum rear setback 3 feet. Building is to be built per approved plans from the Planning & Zoning Commission & City Council.

For inspection www.rockwall.com/buildinginspections/inspectionreq.asp.



LAKE BREEZE DRIVE
(50' R.O.W.)

All building setbacks are Measured from the property line

CODE COMPLIANCE SUBJECT TO FIELD INSPECTORS APPROVAL

GRAPHIC SCALE



LEGAL DESCRIPTION
BEING LOT 6, BLOCK D OF HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET C, SLIDE 195, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

FLOOD INSURANCE NOTE: By graphics stating only, this property is in ZONE _____ of the Flood Insurance Rate Map, Community Panel No. 48000C 0000 L, effective date of SEPTEMBER 26, 2008. (Exact designations can only be determined by a Elevation Certificate. Based on the above information, this property is NOT in a Special Flood Hazard Area.

SURVEYOR'S NOTE: BASIS OF BEARING, RECORDED PLAT UNLESS OTHERWISE NOTED.

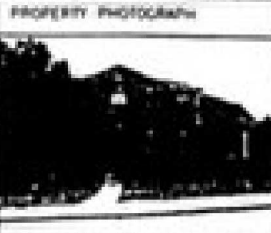
I, **ROY JOHN RONNFELDT**, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to **NEXTER-FAIR TITLE COMPANY** and that the above map is true and correct according to an actual field survey, made by me on the ground or under my supervision, of the property shown herein and described by full notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown herein and that, except as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way as of the date of the field survey. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Land Surveying (Section 653.182) Lot(s) **6**, Block **D**, N.C.S. Survey No. Abstract No. Survey of Submission: **HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL** Cabinet **C**, Slide(s) **195-202** of the Map/Deed and Plat Records of **ROCKWALL** County, Texas Borrower/Owner: **CHARLES N. HUSTON AND KENDALL HUSTON** Address: **1748 LAKE BREEZE DRIVE** of No. **PL101816**

FINAL "AS-BUILT" SURVEY

JOB NO.	NO.	REVISION	DATE
1100008387			
DATE:	05/27/11		
DRAWN BY:	MJ/WH		
APPROVED BY:	RJR		



SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN VOLUME 861, PAGE 176, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS; VOLUME 1121, PAGE 25, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS.



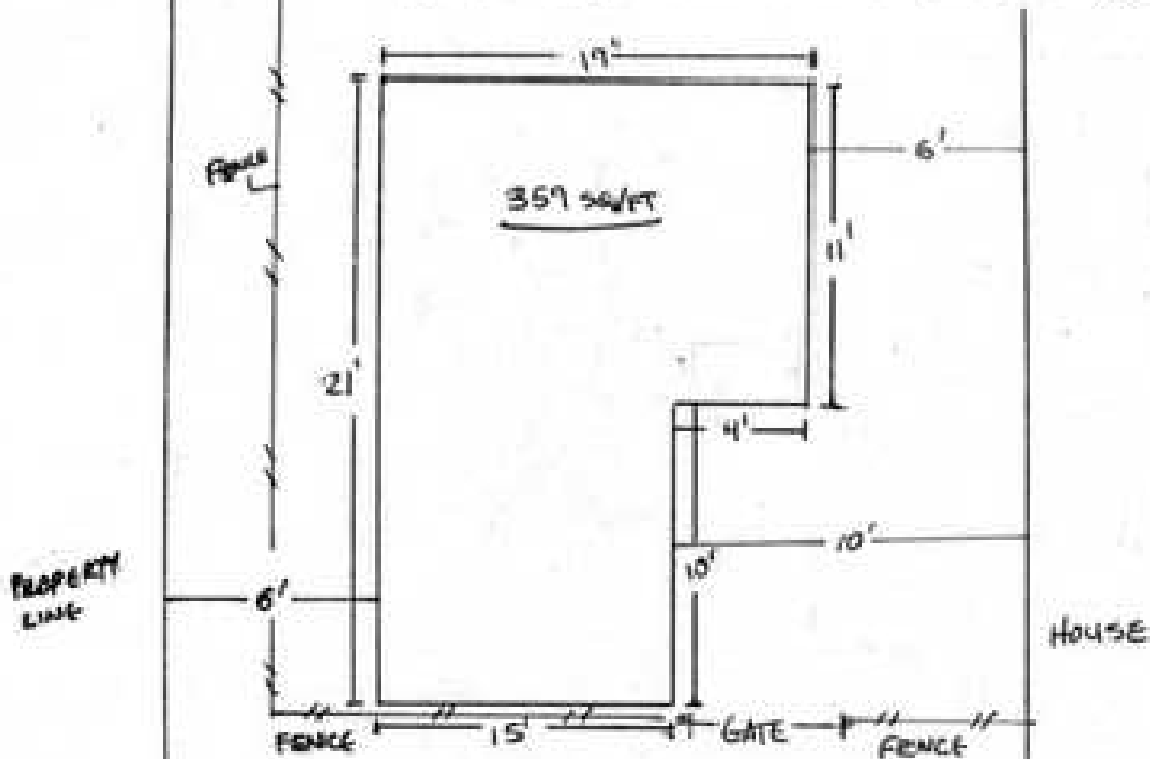
[Signature] 7-14-11

AMERISURVEYORS, LLC
14714 International Road - San Antonio, Texas 78240
Phone: (214) 477-9888

[Signature]
ROY JOHN RONNFELDT, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 3520

* NEW DESIGN DUE TO SET-BACK REQUIREMENTS -

* 6' SET-BACK ON PROPERTY LINE AND NEWLY ESTABLISHED SET-BACK FOR THE HOUSE - WHICH IS 6' INSTEAD OF 10' (SEE LEAD FENCE EMAIL)



* HAD TO CHANGE THE BUILDING SHAPE DUE TO THE GATE LOCATION.

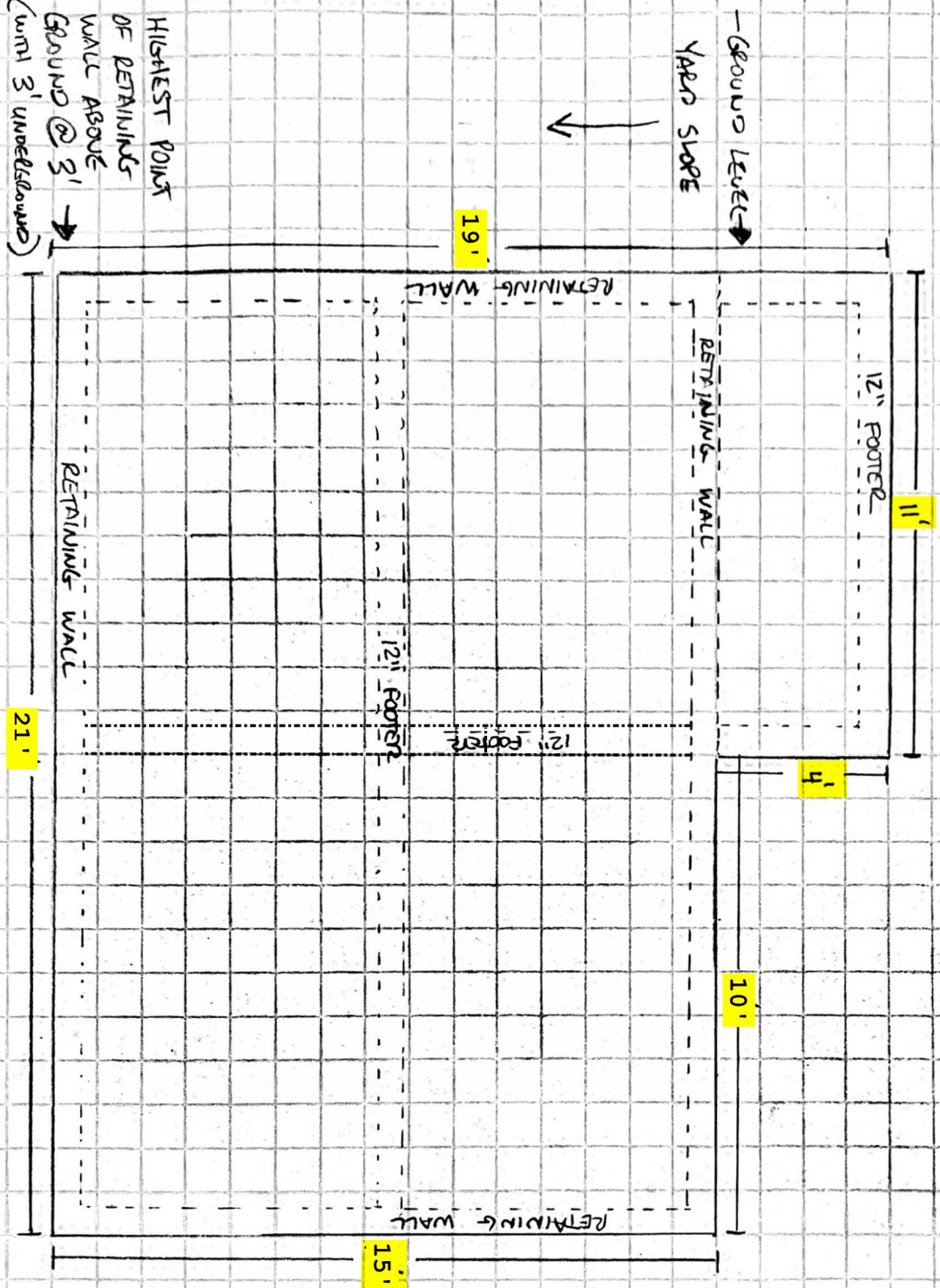
BUILDERS COPY

Keep On Job Site At All Times
For Inspection Use

CONCRETE PAD w/ RETAINING WALL

- 3,000 PSI CONCRETE
- 1/2" REBAR THROUGHOUT (SPACED 16" APART FOR SLAB)

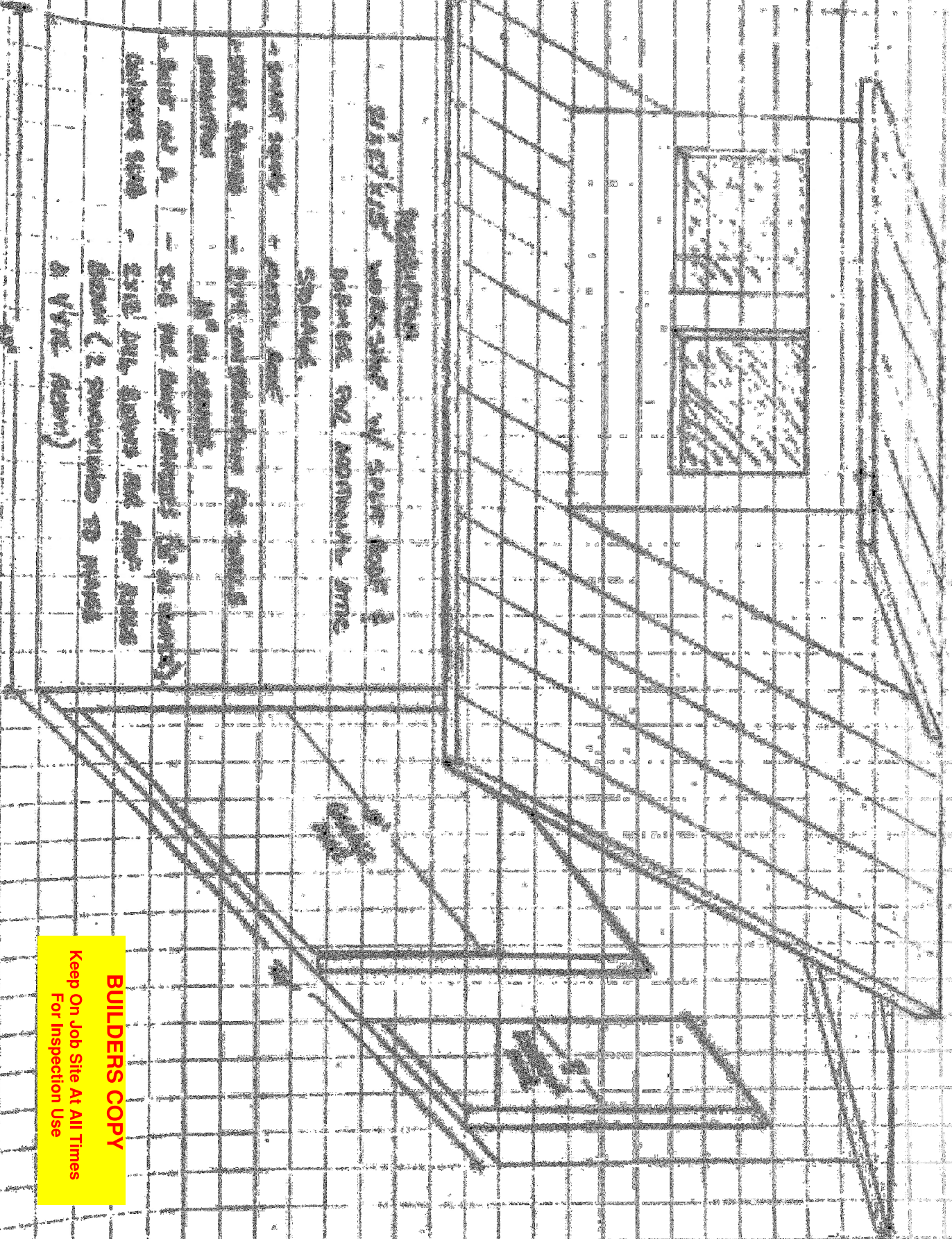
BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use



DETAILS:

THIS STRUCTURE WILL BE A SOLID CONCRETE RETAINING WALL 12" THICK WITH 1/2" REBAR FRAME CONSTRUCTION CONNECTING THE ENTIRE STRUCTURE (INCLUDING THE 5" THICK CONCRETE PAD ON TOP). THERE WILL BE A 12" FOOTER THROUGH THE MIDDLE OF THE SLAB CONNECTING TO THE RETAINING WALLS ON EITHER SIDE.

THE RETAINING WALL WILL BE 3' UNDERGROUND MOVING WITH THE SLOPE OF MY YARD. IT WILL BE 3' UNDERGROUND AND 3' (6" TOTAL) ABOVE GROUND AT THE LOW SIDE OF MY YARD. IT WILL PARALLEL AN EXISTING 3' RETAINING WALL TO RECEIVE THE LOAD. ALL OF IT WILL BE CONNECTED WITH REBAR AND CONCRETE TO MAKE ONE SOLID STRUCTURE WITH THE CONCRETE PAD ON TOP.



1. 1/2" thick work-side of foam board &
 separate for assembly some
 square.

2. 1/2" thick foam board
 separate for assembly some
 square.

3. 1/2" thick foam board
 separate for assembly some
 square.

4. 1/2" thick foam board
 separate for assembly some
 square.

5. 1/2" thick foam board
 separate for assembly some
 square.

6. 1/2" thick foam board
 separate for assembly some
 square.

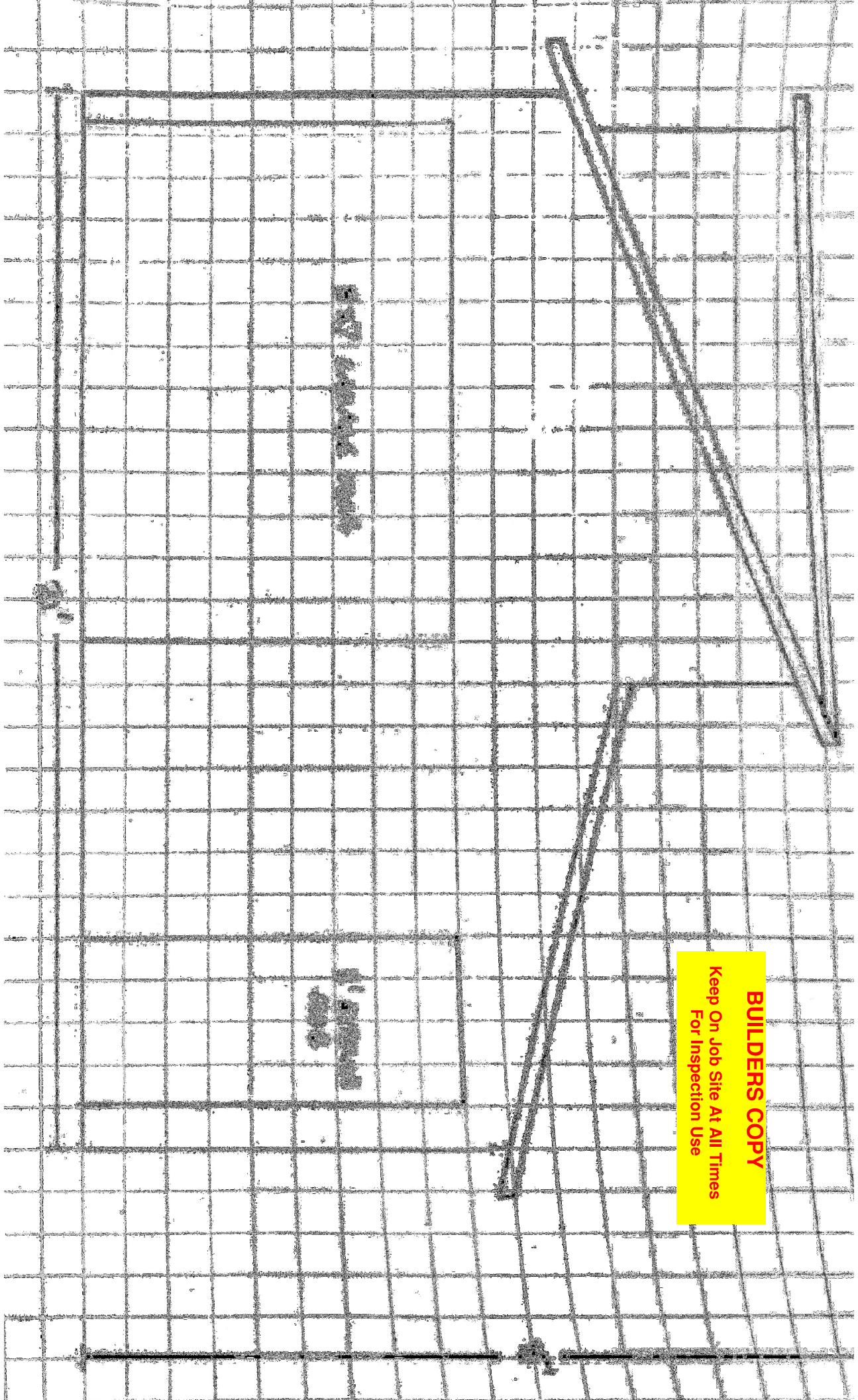
7. 1/2" thick foam board
 separate for assembly some
 square.

8. 1/2" thick foam board
 separate for assembly some
 square.

9. 1/2" thick foam board
 separate for assembly some
 square.

10. 1/2" thick foam board
 separate for assembly some
 square.

BUILDERS COPY
 Keep On Job Site At All Times
 For Inspection Use



BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use

BUILDING WILL BE CONSTRUCTED USING 2x4 FRAMING (16" ON CENTER)
WITH SMART SIDING OUTER PANELING.

THE ROOF WILL BE A METAL STANDING SEAM ROOF OVER OSB PLYWOOD
SHEETING AND 3016 ROOFING FECT.

THE ROOF TRUSSES WILL BE CONSTRUCTED WITH A 2x12x15 LVL RIDGE
BEAM AND 2x6 RAFTERS 16" ON CENTER USING RAFTER HANGERS.

THE STRUCTURE WILL CONNECT TO THE CONCRETE SLAB USING PRESSURE
TREATED LUMBER AND $\frac{1}{2}$ " x 5" SLEEVE ANCHORS.

THE GARAGE DOOR WILL BE ROLL-UP WIND RATED DOOR (8'x7") AND THERE
WILL BE A STANDARD 3'x7' EXTERIOR DOOR.

BUILDERS COPY

**Keep On Job Site At All Times
For Inspection Use**

SKAGGS ENGINEERING

1018 Meadow Green Court Princeton, TX 75407
skaggsengineering@yahoo.com
Cell: 972.369.2194

August 23, 2020

City of Rockwall
Building Inspections
385 S. Goliad Street
Rockwall, TX

Re: New Workshop Pad/Retaining Walls
1748 Lake Breeze Drive
Rockwall, TX

BUILDERS COPY

**Keep On Job Site At All Times
For Inspection Use**

To Whom It May Concern:

I have reviewed the proposed workshop at the above referenced residence. The new workshop will be approximately 400 sf and constructed with wood stud bearing walls and wood rafters. The workshop will be located adjacent to an existing retaining wall along the property line. The workshop will be supported by a 5" concrete slab reinforced with #4 bars @ 16" OC each way and retaining walls on each side. The retaining walls are 12" wide, reinforced with #4 bars @ 16" OC each way, and set 36" into the ground. The walls vary in height and are a maximum of 3'-0" above grade.

After reviewing the information, in my opinion, the retaining walls and slab were constructed in accordance with the 2015 International Residential Code and City of Rockwall requirements. The retaining walls and slab can support the weight of the proposed workshop. The new retaining walls, slab, and proposed workshop will not affect the structural integrity of the existing retaining wall.

If I can be of any further assistance or if there should be any questions, please do not hesitate to call.

Sincerely,

SKAGGS ENGINEERING
FIRM NUMBER F-12387



Matthew R. Skaggs, P.E.
Skaggs Engineering

From: [Foshee, Craig](#)
To: [Gonzales, David](#); [Miller, Ryan](#)
Cc: [McDowell, Russell](#)
Subject: FW: 1748 Lake breeze
Date: Thursday, April 22, 2021 3:51:25 PM

-----Original Message-----

From: Yancey, Jared
Sent: Thursday, April 22, 2021 3:51 PM
To: McDowell, Russell <rmcdowell@rockwall.com>; Foshee, Craig <cfoshee@rockwall.com>
Subject: 1748 Lake breeze

The height on the structure is 15'7" from the backyard height. 19'9" from the existing retaining wall on edge of property.

Square footage is 330 ft.² for the downstairs, upstairs square footage is 240ft.² as to which the roofline meets the floor of attic area

Jared Yancey
469-797-3436
Building Inspections

This email was scanned by Bitdefender

















CITY OF ROCKWALL

ORDINANCE NO. 20-34

SPECIFIC USE PERMIT NO. S-231

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 11 (PD 11), ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.2297-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK O, HILLCREST SHORES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Klecha for the approval of a Specific Use Permit (SUP) to allow an Accessory Building that exceeds the maximum allowable size on a 0.2297-acre parcel of land being described as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 11 (PD-11) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-20*] -- as

heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 360 SF.
- (3) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

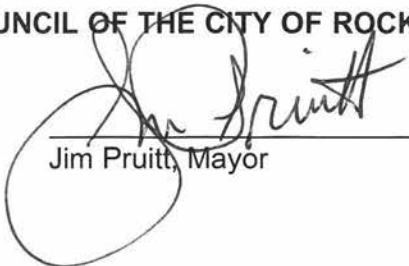
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 8TH DAY OF SEPTEMBER, 2020.



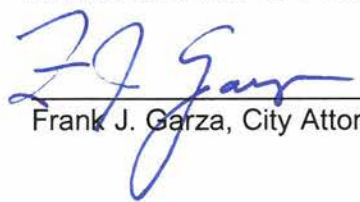
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: August 17, 2020

2nd Reading: September 8, 2020



Exhibit 'A'
Zoning Exhibit

Address: 1748 Lake Breezy Drive
Legal Description: Lot 6, Block O, Hillcrest Shores Addition



Exhibit 'B':
Site Plan

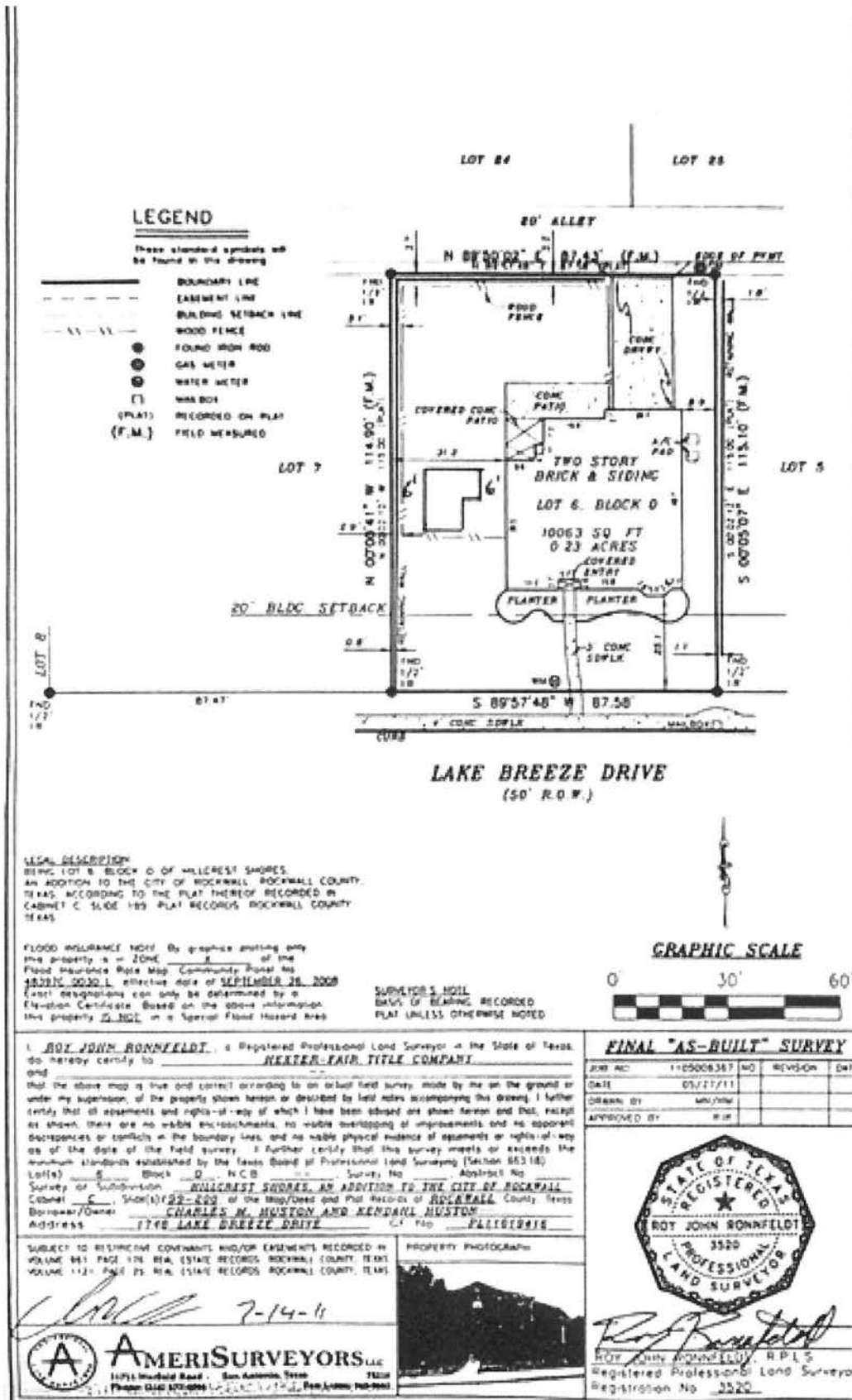


Exhibit 'B':
Site Plan

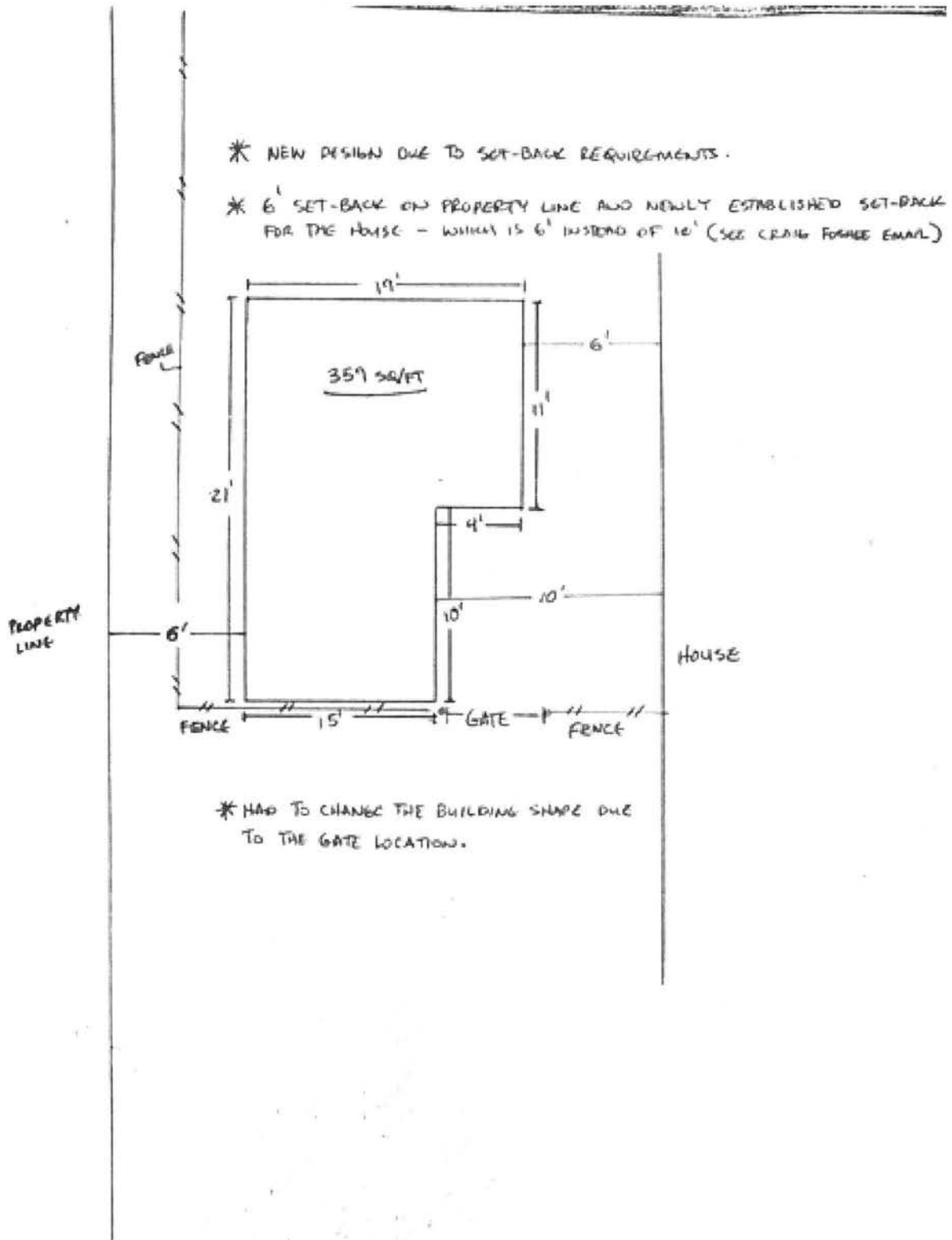


Exhibit 'C':
 Conceptual Building Elevations

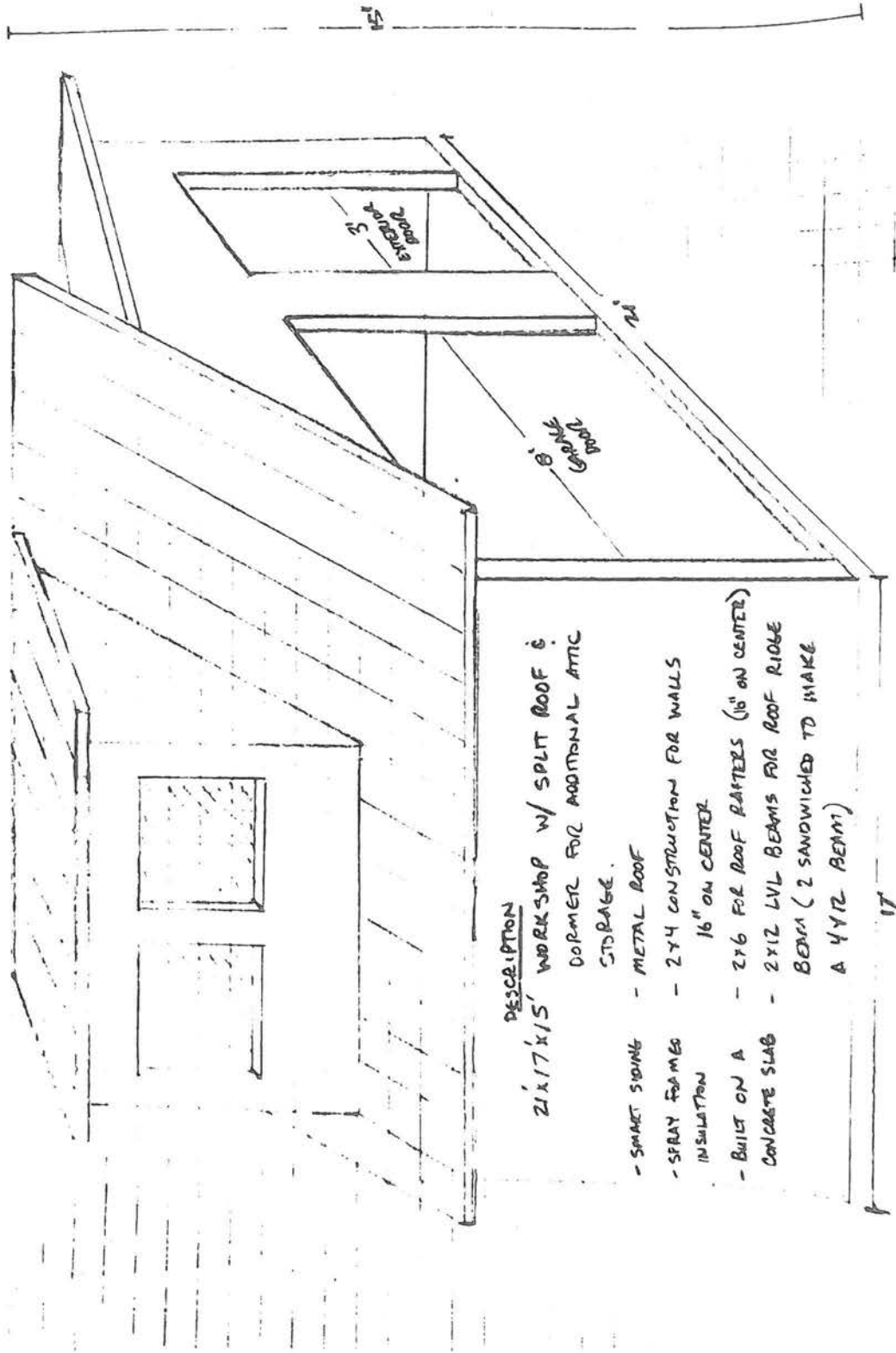
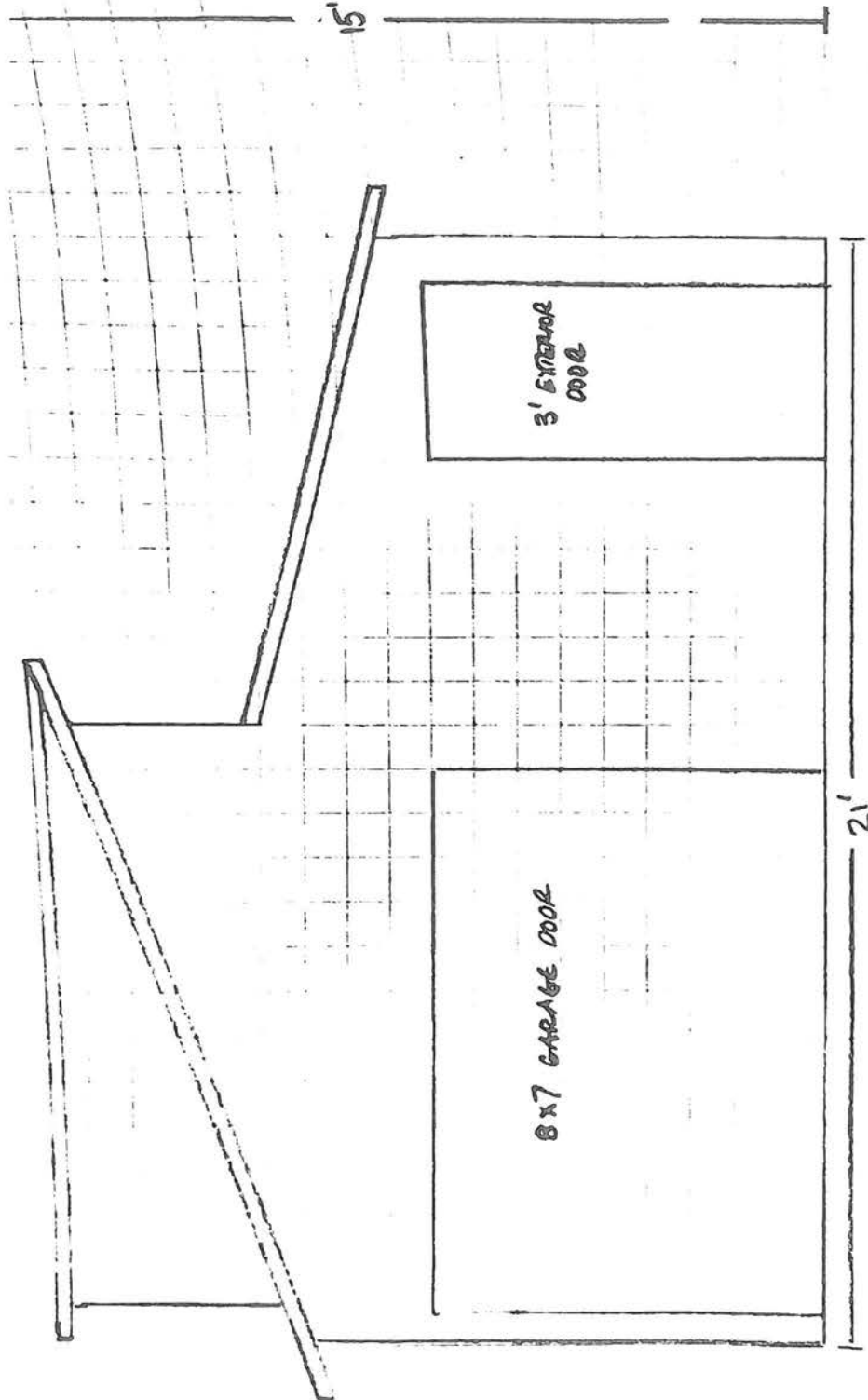


Exhibit 'C':
Conceptual Building Elevations



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 11 (PD 11) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE HEIGHT AND SIZE ON A 0.2297-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK O, HILLCREST SHORES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Klecha for the approval of a Specific Use Permit (SUP) to allow an *accessory building* that exceeds the maximum allowable height and size on a 0.2297-acre parcel of land being described as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 11 (PD-11) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this Specific Use Permit (SUP) ordinance shall supersede all requirements stipulated by *Ordinance No. 20-34 [S-231]*; and,

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified

Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-20*] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 570 SF (i.e. 330 SF – 1st floor & 240 SF – 2nd floor).
- (3) The *Accessory Building* shall not exceed a height of more than 19-feet, 9-inches.
- (4) The subject property shall not have more than one (1) accessory building.

3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF JUNE, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

2nd Reading: June 7, 2021

Exhibit 'A'
Zoning Exhibit

Address: 1748 Lake Breezy Drive

Legal Description: Lot 6, Block O, Hillcrest Shores Addition

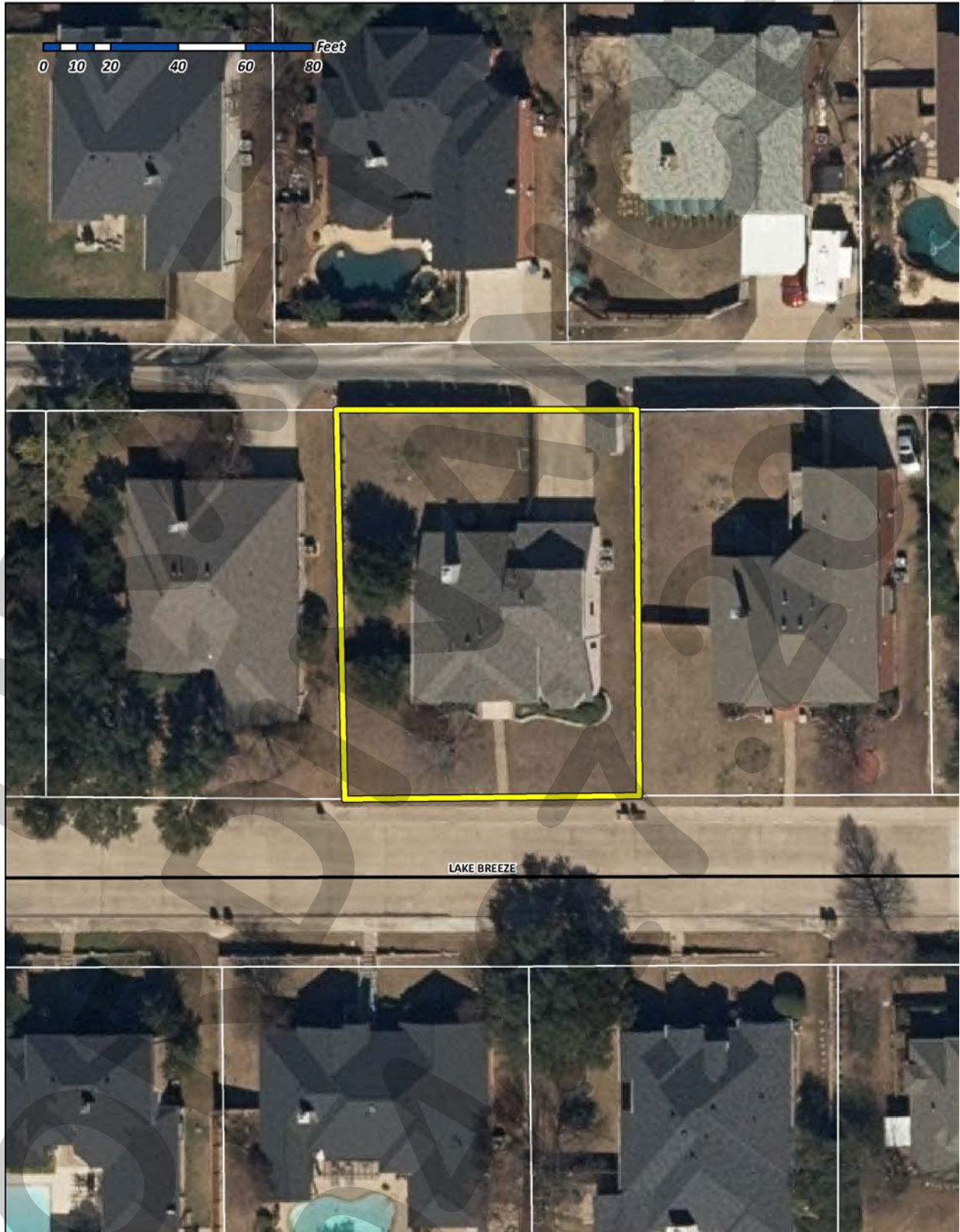


Exhibit 'B':
Site Plan

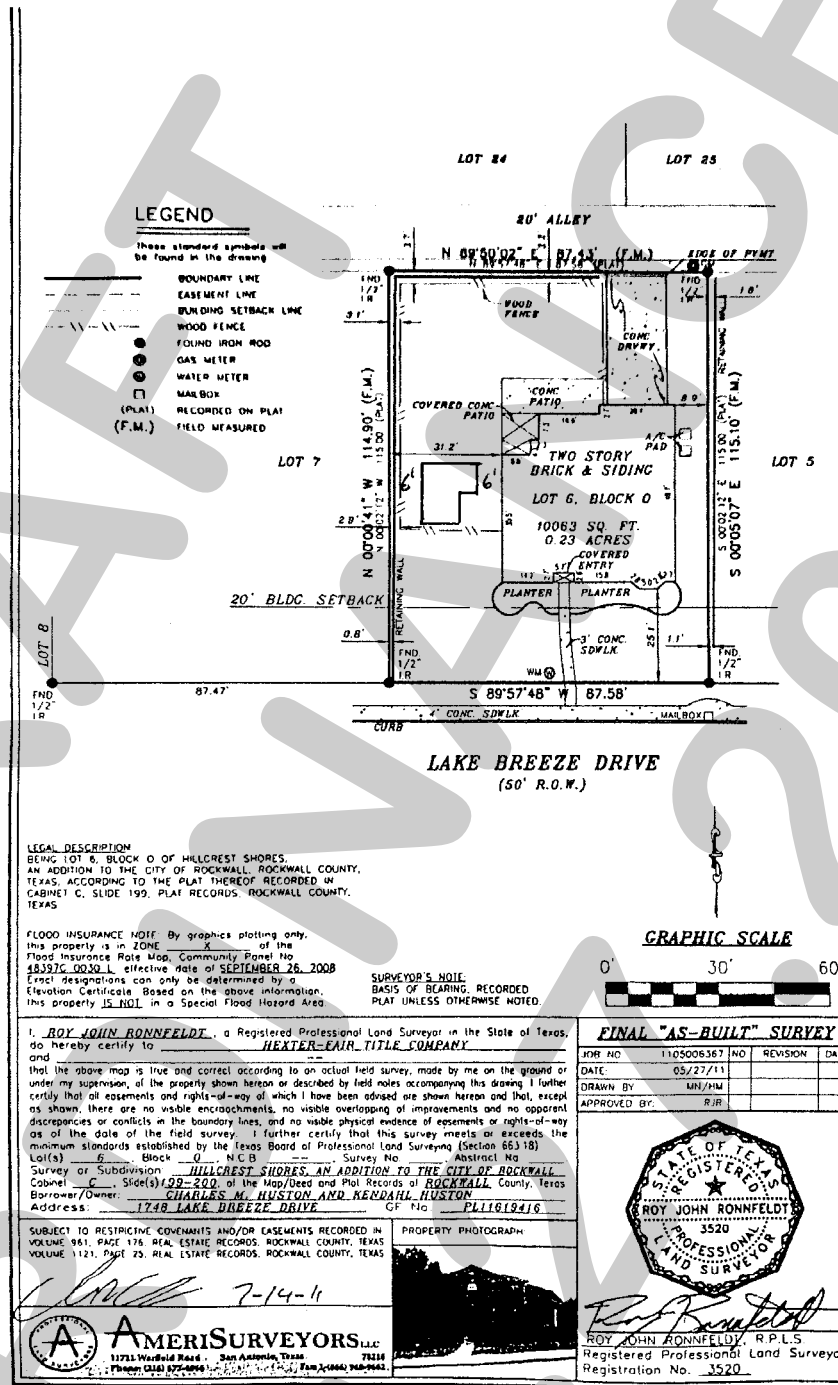
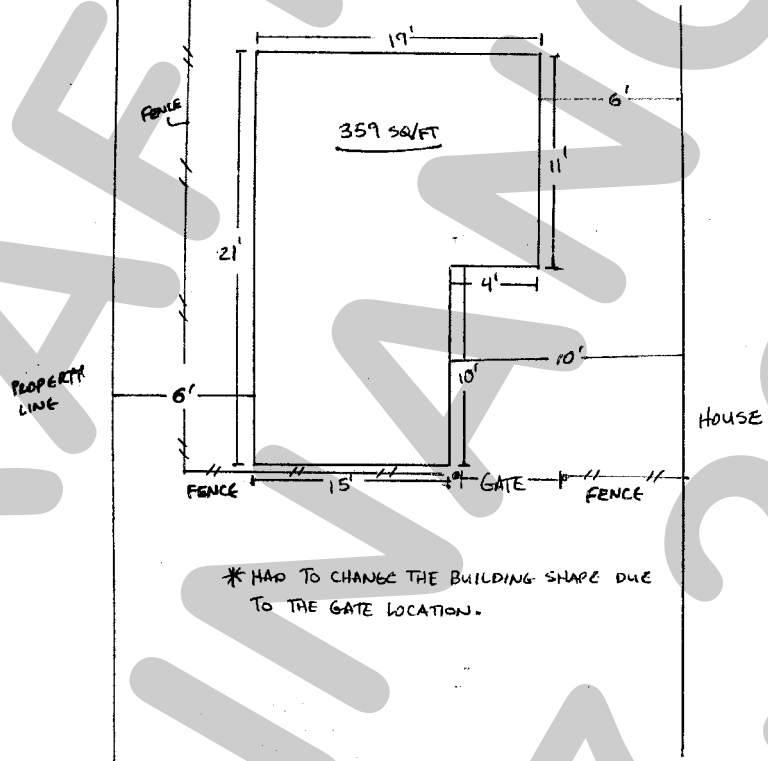


Exhibit 'B':
Site Plan

* NEW DESIGN DUE TO SET-BACK REQUIREMENTS -

* 6' SET-BACK ON PROPERTY LINE AND NEWLY ESTABLISHED SET-BACK FOR THE HOUSE - WHICH IS 6' INSTEAD OF 10' (SEE CRAIG FORBEE EMAIL)



* HAD TO CHANGE THE BUILDING SHAPE DUE TO THE GATE LOCATION.

Exhibit 'C':
Conceptual Building Elevations

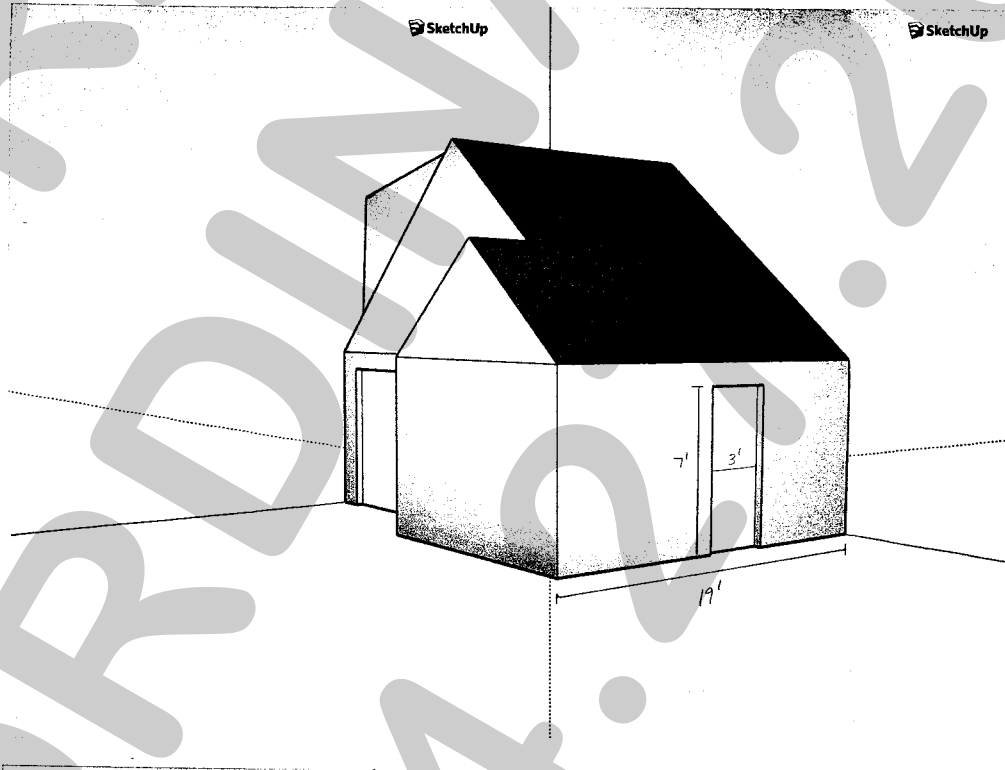
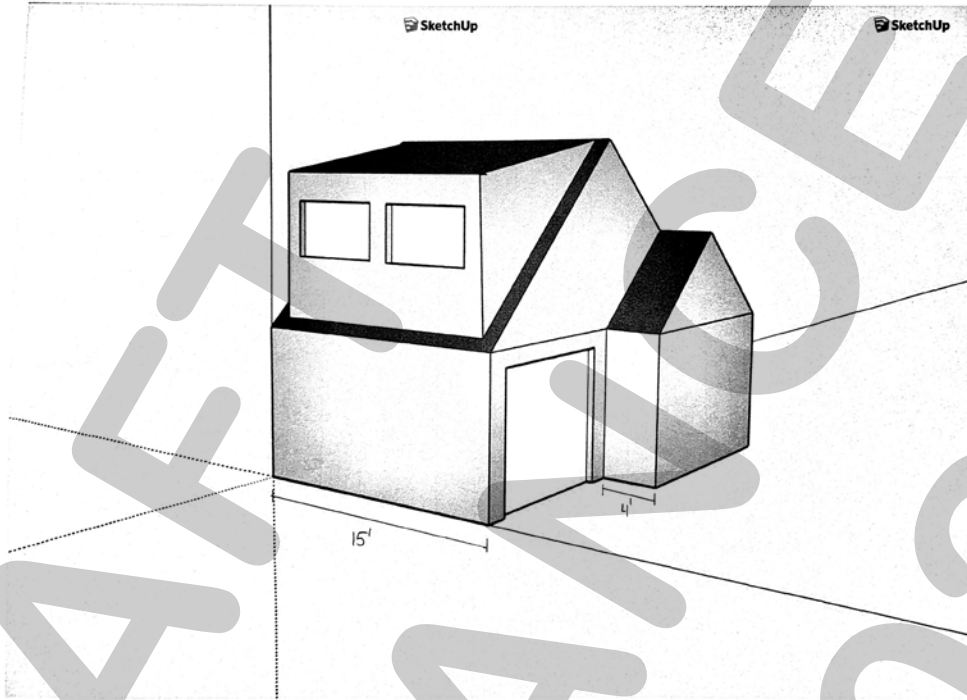
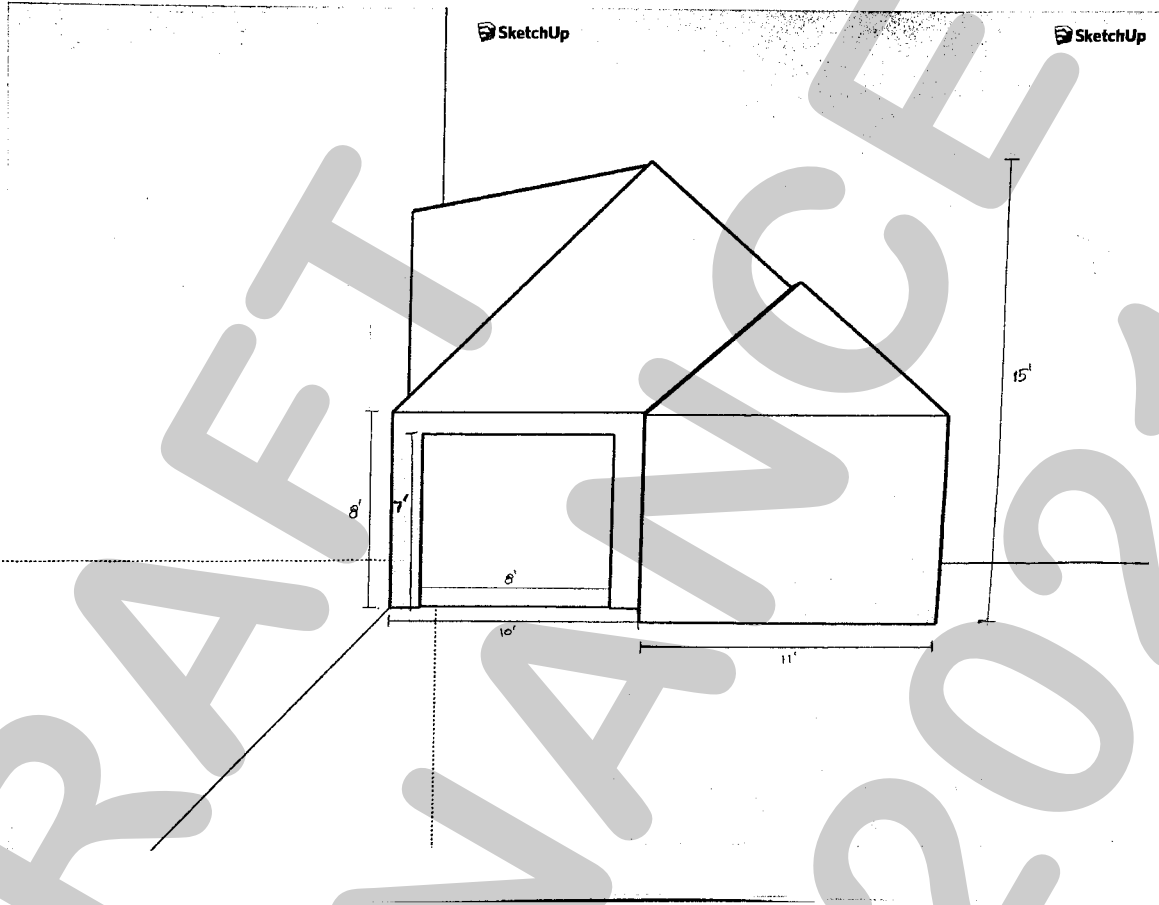


Exhibit 'C':
Conceptual Building Elevations



DRAFTING AND E
ORDINANCE NO. 04.27.2021

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: Z2021-011
PROJECT NAME: SUP for Existing Greenhouse at 804 S. Alamo Road
SITE ADDRESS/LOCATIONS: 804 S ALAMO RD, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Kristi Bryant for the approval of a Specific Use Permit (SUP) for an Accessory Building for the purpose of allowing an existing greenhouse on a 0.496-acre tract of land identified as Lot 5 & 6, Block A, Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	04/22/2021	Approved w/ Comments

04/22/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for an Accessory Building for the purpose of allowing an existing greenhouse on a 0.496-acre tract of land identified as Lot 5 & 6, Block A, Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

M.3 For reference, include the case number (Z2021-011) in the lower right-hand corner of all pages on future submittals.

I.4 The existing greenhouse exceeds the maximum allowed size of an accessory structure. The maximum permitted size is 144 Sqft; the existing greenhouse is 288 Sqft or double the permitted size. Exceeding this requirement is what prompted this SUP request.

M.5 Please review the attached Draft Ordinance prior to the April 27, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than May 4, 2021. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on April 27, 2021.

I.7 The projected City Council meeting dates for this case will be May 17, 2021 (1st Reading) and June 7, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/21/2021	Needs Review

04/21/2021: Need a site plan that indicates the distance from the property line to the exterior walls of the greenhouse. Must be 10-feet or greater.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	04/22/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

04/19/2021: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. Z2021-011

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) †
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
- FINAL PLAT (\$300.00 + \$20.00 ACRE) †
- REPLAT (\$300.00 + \$20.00 ACRE) †
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) †
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) †
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

† IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 804 S. Alamo Road

SUBDIVISION Highridge Est

LOT 5

BLOCK A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kristi Bryant

APPLICANT Same

CONTACT PERSON

CONTACT PERSON

ADDRESS 710 S. Alamo Rd

ADDRESS

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP

PHONE 972-989-7005

PHONE

E-MAIL Kristi and brent a@gmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kristi + Brent Bryant [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 21500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

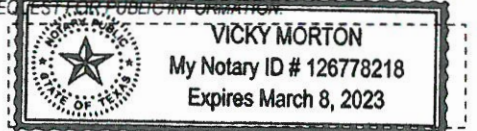
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF April, 2021

OWNER'S SIGNATURE

[Handwritten Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Handwritten Signature: Vicky Morton]



MY COMMISSION EXPIRES

March 8, 2023



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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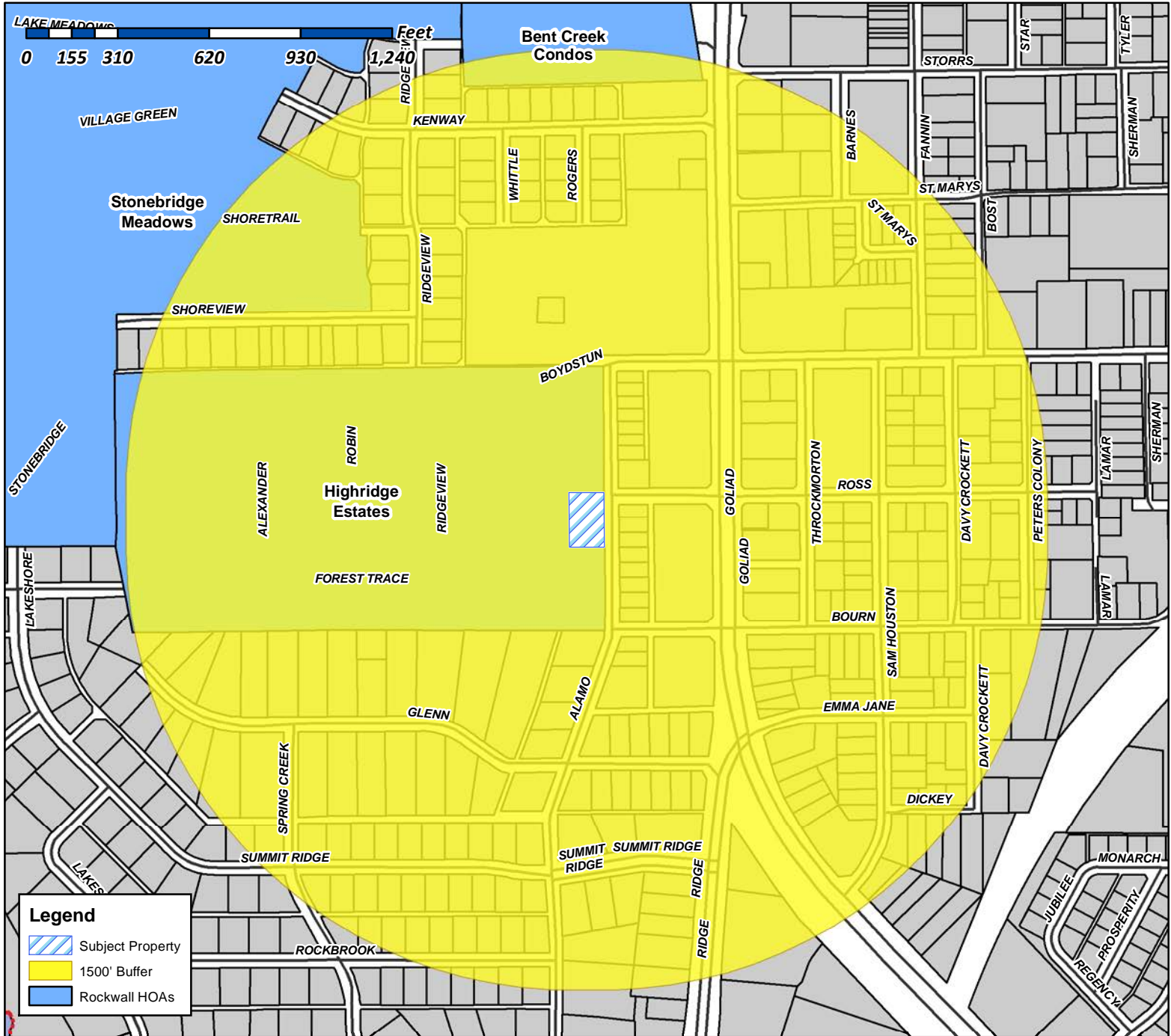




City of Rockwall

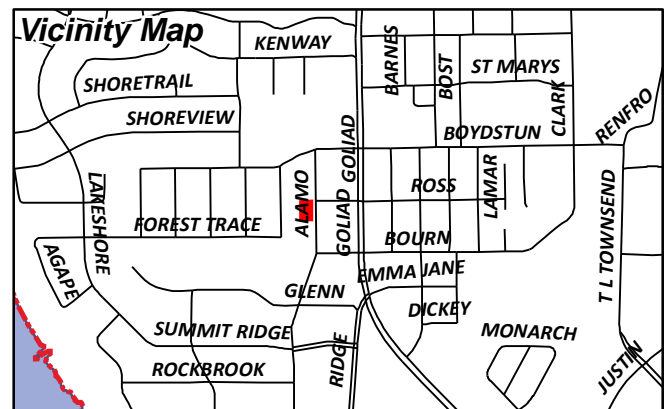
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Case Number: Z2021-011
Case Name: SUP for A Greenhouse
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 710 & 804 S. Alamo Road

Date Created: 4/19/2021
For Questions on this Case Call (972) 771-7745

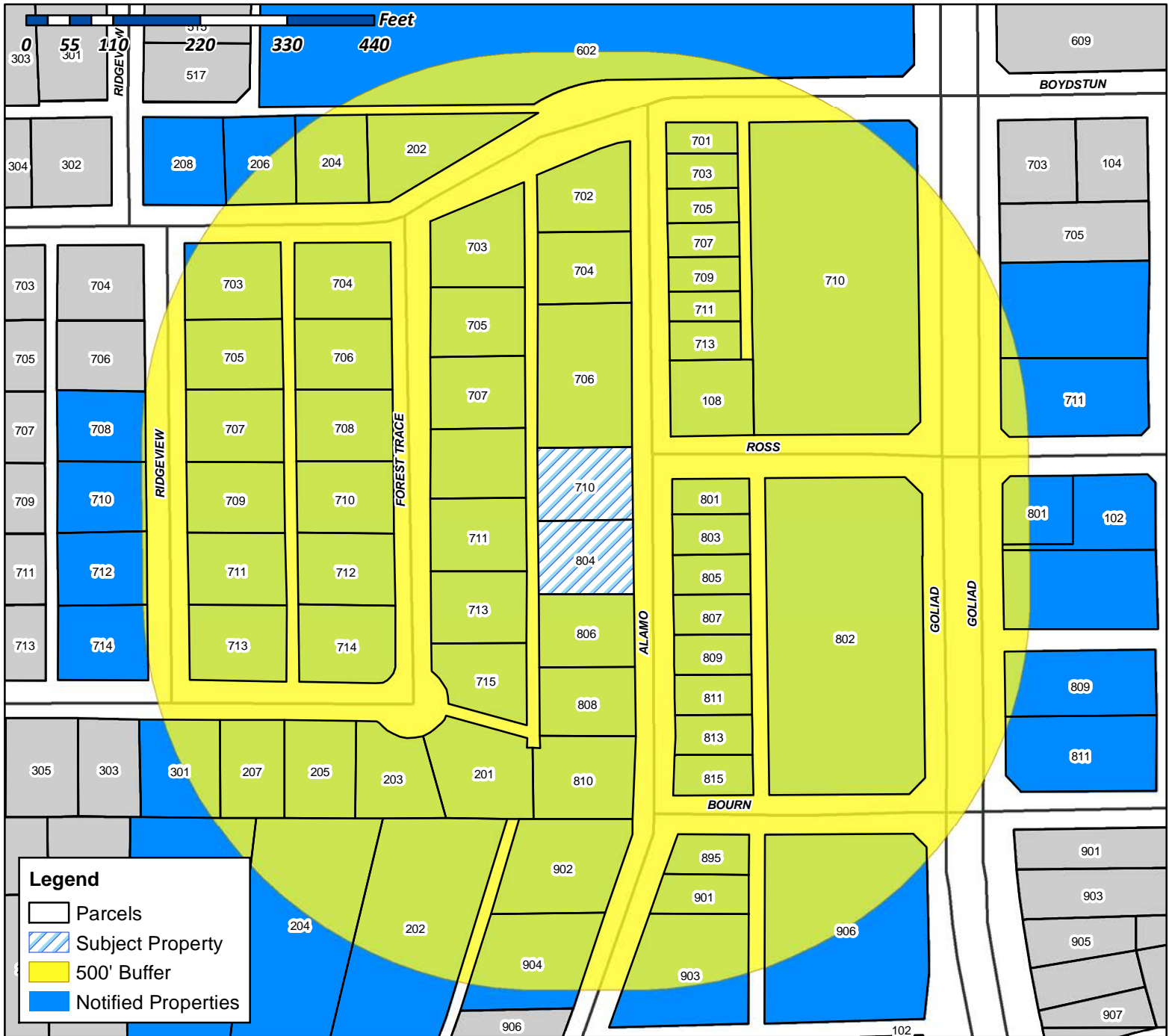
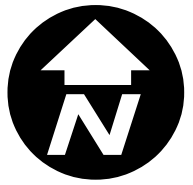




City of Rockwall

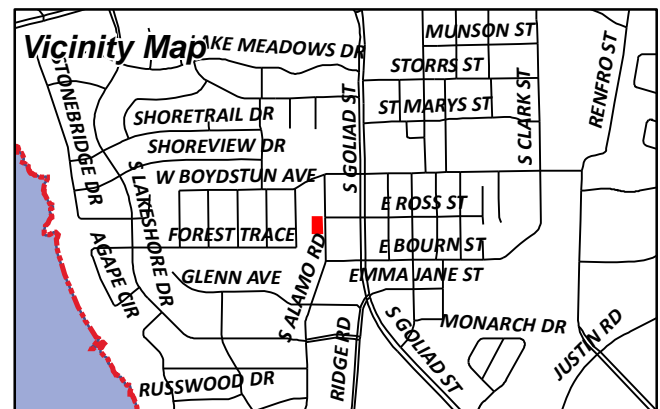
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EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

MILLS CHARLES O
108 ROSS AVE
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

OTTO IRIS
1502 S 1ST ST STE 3
GARLAND, TX 75040

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

HUTTO JENNIFER L AND MICHAEL
201 FOREST TRACE
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUSS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MARKS RICHARD R & JUNE
TRUSTEES OF THE MARKS FAMILY LIVING TRUST
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

HAYDICKY JOSEPH N
205 FOREST TRACE
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M
206 GLENN AVE
ROCKWALL, TX 75087

UPTON RHONDA D AND CHUCK L
206 W BOYDSTUN AVE
ROCKWALL, TX 75087

TABOR WHITNEY J
207 FOREST TRACE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY
301 FOREST TRACE
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
602 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
6104 LYNDON B JOHNSON FREEWAY APT#2502
DALLAS, TX 75240

SCUDDER PERRIN AND SHELLY K HARPER
664 SORITA CIR
HEATH, TX 75032

REED DARLENE
701 S ALAMO RD
ROCKWALL, TX 75087

OTTO IRIS
702 S ALAMO DR
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA
703 FOREST TRCE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

BAUMANN HARRY EDWARD
703 S ALAMO
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

MILLS CHARLES O
704 S ALAMO DR
ROCKWALL, TX 75087

MEINECKE ANGELA AND JEFFERY
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

SCUDDER PERRIN AND SHELLY K HARPER
705 S ALAMO
ROCKWALL, TX 75087

FORD CLYDE G
706 FOREST TRACE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

SCUDDER PERRIN AND
SHELLY K HARPER
707 S ALAMO
ROCKWALL, TX 75087

WILSON CATHI E AND GLEN H
708 FOREST TRACE
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR
708 RIDGEVIEW DR
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

FLEMING LINDA
709 S ALAMO RD
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

RADNEY JAMES C
710 RIDGEVIEWDR
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

MILLER FRANK
711 S GOLIAD ST
ROCKWALL, TX 75087

GRAY JIM & KATHERINE
712 FOREST TRCE
ROCKWALL, TX 75087

MORI DANIEL J & JUDY
712 RIDGEVIEW DR
ROCKWALL, TX 75087

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

SIPLE MARIAN C
714 RIDGEVIEW DR
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

LEITHE KURT
7702 STONEHAVEN DR
ROWLETT, TX 75089

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
809 ALAMO RD
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

ROCHIER KELLY BRUNNER
901 S ALAMO RD
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

PRESLEY ELIZABETH
904 S ALAMO RD
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD
ROCKWALL, TX 75087

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738



City of Rockwall
The New Horizon

3/10/2021

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

NEIGHBORHOOD IMPROVEMENT SERVICES DEPARTMENT

RE: Notice of Code Violation
Case Number: CE2021-996
Legal Description: HIGHRIDGE EST, BLOCK A, LOT 5
Location: 710 S ALAMO RD, ROCKWALL, 75087

During a recent inspection of your property located at 710 S ALAMO RD, ROCKWALL, 75087, the following violation of the City of Rockwall Code of Ordinances has been identified:

Article XII, Sec 3, 3.1 Building Permits Required:

No building or other structure shall be erected, moved, added to, or structurally altered without a permit issued by the Building Official. A building permit shall not be issued except in conformity with the provisions of this Ordinance, unless otherwise authorized by the Board of Adjustment in the form of a variance as provided by this Ordinance.

PLEASE CONTACT BUILDING INSPECTIONS DEPARTMENT TO OBTAIN PERMIT FOR GREENHOUSE IN REAR YARD. 972-771-7709. THANK YOU.

- accessory building

rockwall.com

Survey
!

The compliance date for the above noted violation is **Ten (10) Days** from the date of this letter. Failure to comply may result in the issuance of a citation or a case being filed in Municipal Court.

If I can be of any assistance, please contact me at 972-772-6437

Sincerely,

Jennifer Wolfe
Neighborhood Improvement Services
Email: jwolfe@rockwall.com



Map data ©2021, Map data ©2021 20 ft

Greenhouse
is
here

Photos



Photos



12x24



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: Z2021-012
PROJECT NAME: SUP for Cigar Shop at 2740 Hwy 276
SITE ADDRESS/LOCATIONS: 2740 STATE HIGHWAY 276, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Ahmad Maktabi on behalf of Gerald Houser of Lynstar, LLC for the approval of a Specific Use Permit (SUP) for a General Retail Store in a Light Industrial (LI) District on a 1.243-acre parcel of land identified as Lot 3, Block 1, Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	David Gonzales	04/21/2021	Needs Review

04/21/2021: Z2021-012; Specific Use Permit for General Retail Store – 2740 SH-276
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a General Retail Store in a Light Industrial (LI) District on a 1.243-acre parcel of land identified as Lot 3, Block 1, Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

I.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the standards established by the Specific Use Permit, and the Development Standards of Article 05 that are applicable to the subject property.

M.4 Please review and provide red-lined mark-ups of any changes to the Specific Use Permit (SUP) [i.e. Draft Ordinance] you feel may be necessary for your proposed project and return to staff no later than May 4, 2021 for review and consideration.

(A) Proposed operational conditions of the SUP Ordinance:

The following conditions pertain to the operation of a General Retail Store on the Subject Property and conformance to these conditions is required for continued operation:

- 1) The subject property shall generally conform to the zoning exhibit contained in Exhibit 'B' of this ordinance; and,
- 2) The sale of alcoholic beverages shall be prohibited.

I.5 Please note the scheduled meetings for this case:

- (1) Planning & Zoning work session meeting will be held on April 27, 2021.

(2) Planning & Zoning Public Hearing will be held on May 11, 2021.

(3) City Council Public Hearing will be held on May 17, 2021. [1st Reading of Ordinance]

(4) City Council regular meeting will be held on June 7, 2021. [1st Reading of Ordinance]

I.6 All meetings will be held in person in the City's Council Chambers and are scheduled to begin at 6:00 PM. The City requires that a representative(s) be present for all scheduled meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Approved w/ Comments

04/22/2021: I - If food is available for sale or consumption inside this business, a oil/water separator will be required at the dumpster to drain into the storm system

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/21/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	04/23/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

04/19/2021: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2740 Hwy 276

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE OFFICE

PROPOSED ZONING SUP

PROPOSED USE RETAIL - CIGARS

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB2167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ ORIGINAL SIGNATURES ARE REQUIRED]

OWNER LYN STAR LLC

APPLICANT

CONTACT PERSON GERALD HOUSER

CONTACT PERSON AHMAD MAKTARI

ADDRESS P.O. Box 847

ADDRESS 319 - Chamley Rd
GARLAND TX 75044

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP 75044

PHONE 214-789-1890

PHONE 469-222-6782

E-MAIL ghouser@cgh-engineering.com

E-MAIL AHMADMAKTARI18@GMAIL.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Gerald Houser (OWNER) THE UNDERSIGNED WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

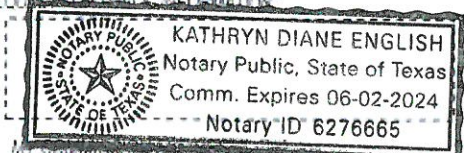
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF APRIL, 2021


OWNER'S SIGNATURE

Gerald Houser

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 25 50 100 150 200 Feet

Z2021-012- SUP FOR A GENERAL RETAIL STORE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
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Rockwall, Texas 75032
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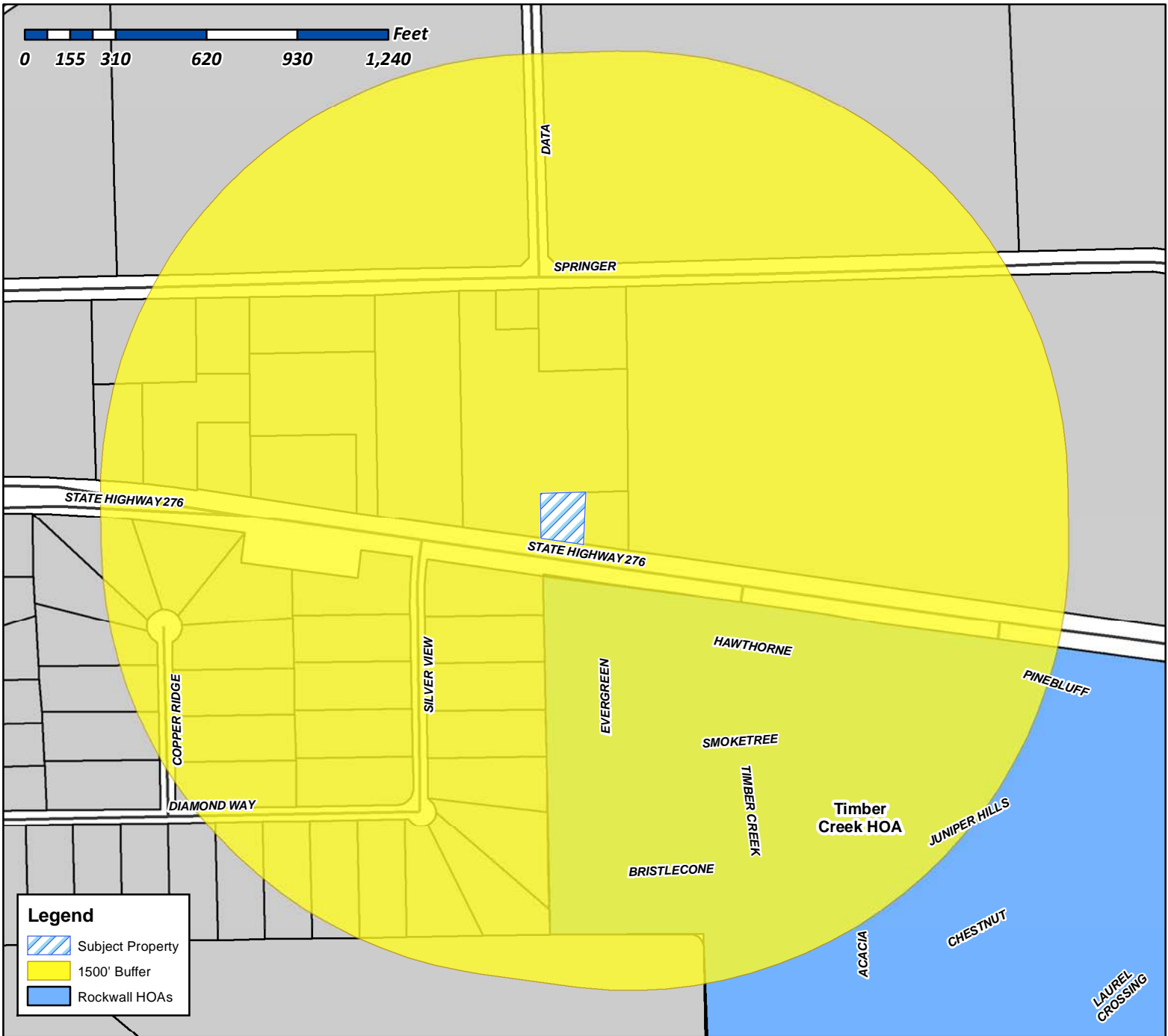







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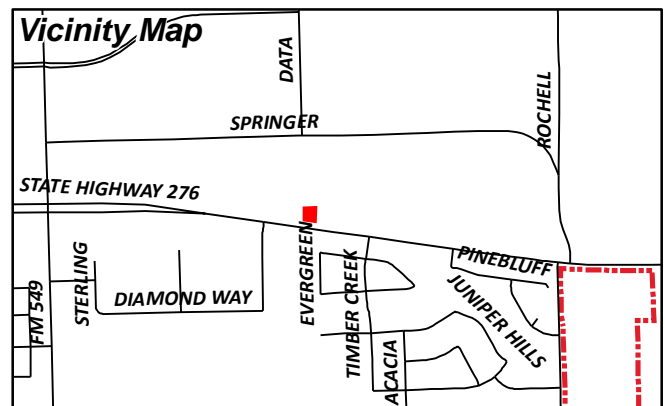


Legend

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

Case Number: Z2021-012
Case Name: SUP for A General Retail Store
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 2740 SH-276

Date Created: 4/23/2021
For Questions on this Case Call (972) 771-7745





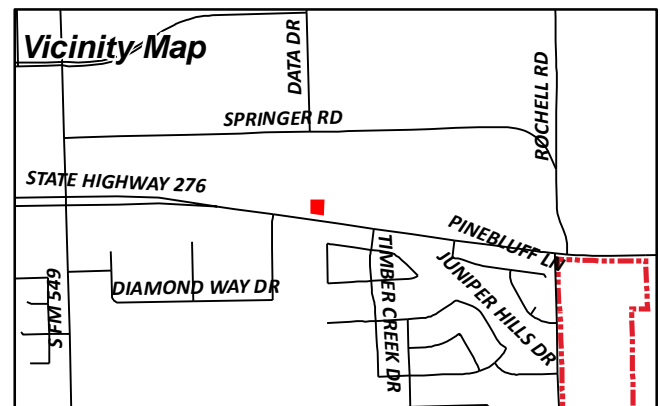
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 For Questions on this Case Call (972) 771-7745

HUDACK STEVE V AND AILEEN J
1090 VINTAGE COURT
VACAVILLE, CA 95688

ABLES NORRIS BRADLEY
1855 SILVER VIEW LN
ROCKWALL, TX 75032

RAMIREZ JUAN
1858 SILVER VIEW LN
ROCKWALL, TX 75032

BRYANT DAWN
1915 SILVER VIEW LN
ROCKWALL, TX 75032

BARENOS CYNTHIA
1924 EVERGREEN DR
ROCKWALL, TX 75032

PRADO JESSE E & CYNTHIA G
1930 EVERGREEN DRIVE
ROCKWALL, TX 75032

LOZANO OSCAR & DIANA
1935 EVERGREEN DR
ROCKWALL, TX 75032

QUINTON JAMES D
1935 SILVER VIEW LN
ROCKWALL, TX 75032

MOLINA RICHARD
1936 EVERGREENDR
ROCKWALL, TX 75032

SCHMIESING ALBERT W & BERTHA N
1942 EVERGREEN DRIVE
ROCKWALL, TX 75032

WELCH KEITH F & DEBORAH A
1943 EVERGREEN DR
ROCKWALL, TX 75032

MCBREEN GREGORY A & BELINDA
1949 EVERGREEN DR
ROCKWALL, TX 75032

SMITH MICHAEL W & STACY R
2021 KINGS PASS
HEATH, TX 75032

VALENZUELA MOISES BENEDICTO AND MARIA
ANTONIETA
2445 DORRINGTON DR
DALLAS, TX 75228

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
2610 OBSERVATION TRAIL SUITE 104
ROCKWALL, TX 75032

LATTIMORE MATERIALS COMPANY LP
2640 HWY276
ROCKWALL, TX 75032

COLIN-G PROPERTIES INC
2690 HWY276
ROCKWALL, TX 75032

LYNSTAR LLC
2754 HWY276
ROCKWALL, TX 75032

VILLALPANDO URIEL AND DIANNE
3414 BERMUDA DRIVE
ROWLETT, TX 75088

SKIPPER JOSEPH AND
STEPHANIE BREANNE SKIPPER
3484 HAWTHORNE TRAIL
ROCKWALL, TX 75032

HUDACK STEVE V AND AILEEN J
3490 HAWTHORNETR
ROCKWALL, TX 75032

URBINA MARIPAZ
3496 HAWTHORNE TRL
ROCKWALL, TX 75032

VILLALPANDO URIEL AND DIANNE
3602 HAWTHORNETR
ROCKWALL, TX 75032

ZHANG WEIGANG & SONGYAN WU
3605 HAWTHORNETR
ROCKWALL, TX 75032

VALENZUELA MOISES BENEDICTO AND MARIA
ANTONIETA
3608 HAWTHORNETR
ROCKWALL, TX 75032

SEYBERT JACOB
3611 HAWTHORNE TRAIL
ROCKWALL, TX 75032

WHITE BRENT C &
KIMBERLY ANN WORTELBOER WHITE
3614 HAWTHORNE TRL
ROCKWALL, TX 75032

BUCHANAN DANIEL L
3619 HAWTHORNE TR
ROCKWALL, TX 75032

LOPEZ YOLANDA MAYORGA & RAUL
3620 HAWTHORNE TRL
ROCKWALL, TX 75032

SMITH MICHAEL W & STACY R
3640 HAWTHORNETR
ROCKWALL, TX 75032

MOLINA RICHARD
3694 HAWTHORNE TRAIL
ROCKWALL, TX 75032

ZHANG WEIGANG & SONGYAN WU
854 LILY AVE
CUPERTINO, CA 95014

LATTIMORE MATERIALS COMPANY LP
PO BOX 2469
ADDISON, TX 75001

LYNSTAR LLC
PO BOX 847
ROCKWALL, TX 75087

COLIN-G PROPERTIES INC
PO BOX 847
ROCKWALL, TX 75087

S 00°23'28" E 185.86'

VACANT
1000 SF

VACANT
1090 SF

ALLSTATE
INSURANCE
STE 200

HWY 276
STOR-N-MORE
STE 100 100

STE 400

2740 HWY 276

TIMBERC
ANIMAL HO
STE 10

048.50' S 81°25'00" E

303.71'

LYNSTAR CENTER

2740 & 2754 HWY 276

ROCKWALL, TX 75032

HIGHWAY 276



Cigars store

To whom it may concern i m willing to lease the space 20740 state why 276 unite 400 Rockwall as smoke shop with cigar/and tobacco product and tobacco accessories, and there will be no smoking inside the building.

Ahmad Maktabi

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *GENERAL RETAIL STORE* IN A LIGHT INDUSTRIAL (LI) DISTRICT ON A 1.243-ACRE PARCEL OF LAND, ZONED LIGHT INDUSTRIAL (LI) DISTRICT, IDENTIFIED AS LOT 3, BLOCK 1, HIGHWAY 276 SELF STORAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ahmad Maktabi on behalf of Gerald Houser of Lynstar, LLC for the approval of a Specific Use Permit (SUP) for a *General Retail Store* in a Light Industrial (LI) District on a 1.243-acre parcel of land being described as Lot 3, Block 1, Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *General Retail Store* in a Light Industrial (LI) District in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 05.01, *General Industrial District Standards*; Subsection 05.02, *Light Industrial (LI) District*; and Subsection 06.02, *General Overlay Districts Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as

heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *General Retail Store* in a Light Industrial (LI) District on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The *General Retail Store* shall be limited to the area depicted in *Exhibit 'B'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF JUNE, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

2nd Reading: June 7, 2021

Exhibit 'A'
Location Map

Address: 2740 SH-276

Legal Description: Lot 3, Block 1, Highway 276 Self Storage Addition

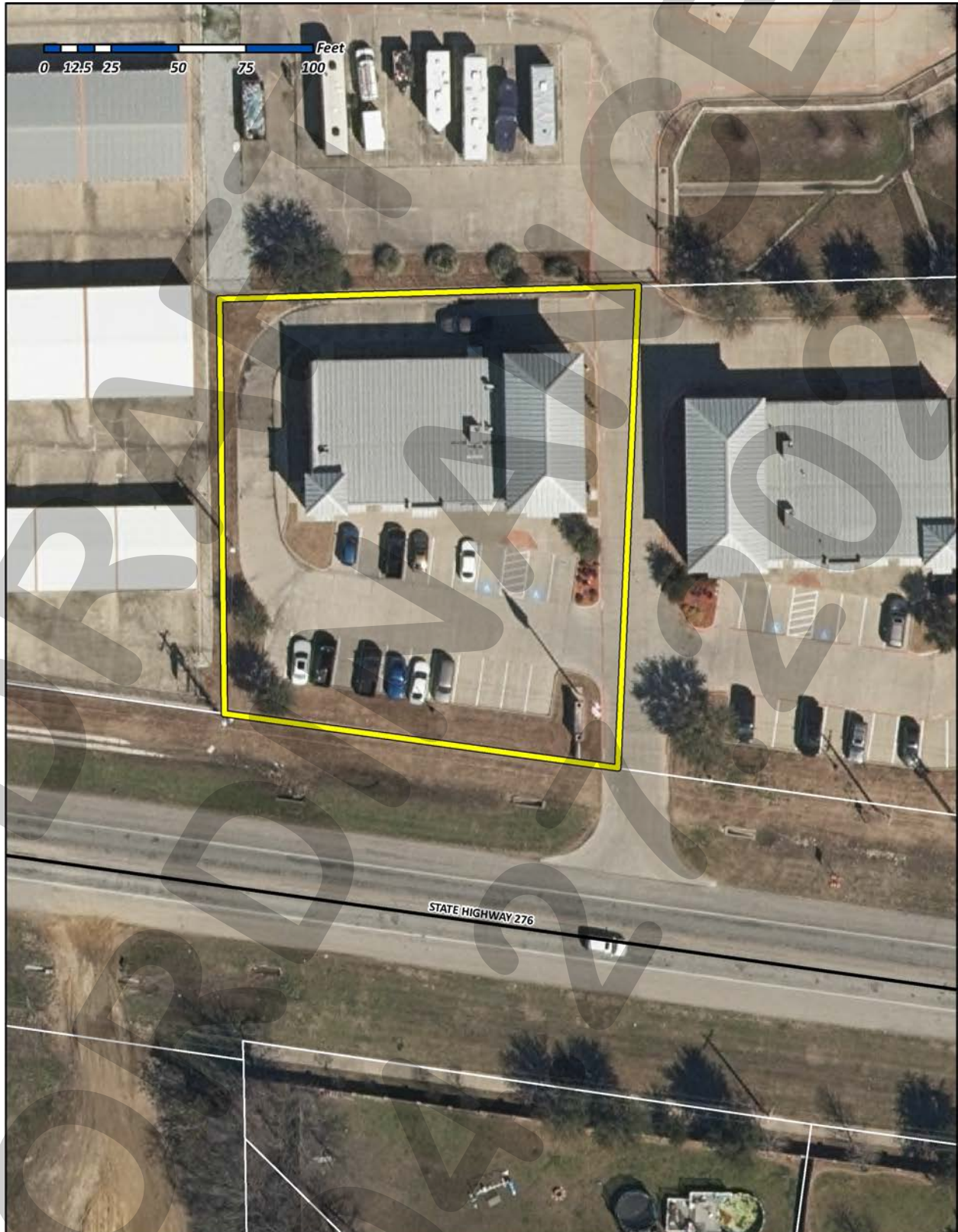
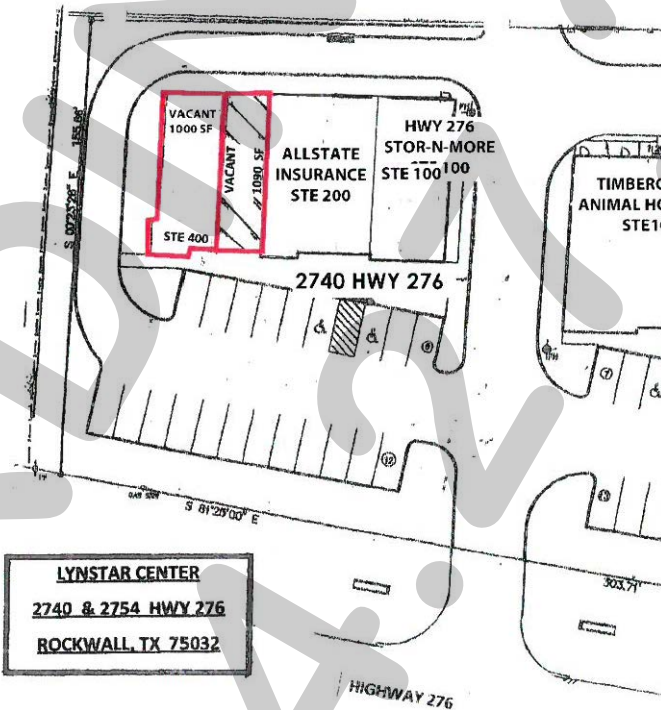


Exhibit 'B':
Zoning Exhibit
2740 Hwy 276, Suite 400





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: April 27, 2021
SUBJECT: Z2021-013; *Amendment to Subsection 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)*

On April 5, 2021, the City Council directed staff to make a minor clarification to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)*. Attached to this memorandum is a copy of the memorandum provided to the City Council outlining the purpose of this amendment. The changes being proposed are as follows:

[ADDITIONS: HIGHLIGHTED]

(F) *General Requirements.*

- (5) *Temporary Structures on Leased Property in the Takeline Area.* Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6). For temporary structures on unleased property in the takeline area see Article III, *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*, of Chapter 22, *Miscellaneous Offenses*, of the Municipal Code of Ordinances.

Also attached to this memorandum is a copy of the draft ordinance for the proposed change. In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

Planning and Zoning Commission Work Session: April 27, 2021
Planning and Zoning Commission Public Hearing: May 11, 2021
City Council Public Hearing/1st Reading: May 17, 2021
City Council 2nd Reading: June 7, 2021

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on April 27, 2021.



CITY OF ROCKWALL
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

CC: Mary Smith, *Interim City Manager*
Joey Boyd, *Assistant City Manager*
Frank Garza, *City Attorney*
Jeffrey Widmer, *Chief Building Official*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: April 5, 2021

SUBJECT: Regulatory Actions for Improvements and Storage on Unleased Land within the Takeline

Mayor Pruitt has asked staff to include this item on the April 5, 2021 City Council agenda for discussion and direction. Specifically, staff has been asked to address unlawful improvements and storage within the takeline on property that is not currently being leased. As the City Council is aware, changes to the takeline ordinance contained in the Unified Development Code (UDC) were recently adopted by the City Council [*Ordinance No. 21-01*] on January 4, 2021. As part of these changes the takeline lease fees were decreased to \$200.00 for new leases with an annual renewal fee of \$100.00. The City Council also directed staff to offer leases at no cost to all property owners who do not currently have a valid takeline lease for a period of 30-days. The attached letter and updated lease would offer free leases to owners that do not have current leases under the new terms adopted by the takeline ordinance (*approximately 98 properties*). If directed to proceed, the attached letter and lease will be sent out to these property owners by certified mail on April 20, 2021.

However, while the City has reduced the fees and will waive the costs of a new or renewal lease for a 30-day period, there may be some property owners who may refuse to lease the takeline. Therefore, to address the unlawful use of the takeline -- *at the City Council's discretion* -- the following example language could be adopted and codified in the Municipal Code of Ordinances under a new article in Chapter 22, *Miscellaneous Offenses*:

Section 22-139 – 22-150. RESERVED

Article III. *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*

Section 22-51. *Unlawful Use of Unleased Land within the Lake Ray Hubbard Takeline*

- (a) It shall be unlawful for any person to construct, store, or place any permanent or temporary improvement (*e.g. raised garden beds, gardens, landscaping, patios, decks, lighting [decorative or otherwise], boat whips, and etc.*) or object (*e.g. patio furniture, chairs, decorative landscape pots, trampolines, hammocks, and etc.*) on any portion of the unleased land within the Lake Ray Hubbard Takeline that remains in place for a period of 24 consecutive hours.
- (b) It shall be unlawful for any person to alter the unleased land within the Lake Ray Hubbard Takeline in anyway so as to change the grade of the property, remove vegetation, alter or remove trees, change the natural coast line of the lake, alter drainage patterns, or any other change that effects the natural environment of the property.
- (c) It is an exception to an offense under Subsection (a) and (b) for a person that holds a valid takeline lease; however, these properties shall be subject to the regulations contained within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

Section 22-52. *Enforcement within the Lake Ray Hubbard Takeline*

- (a) The City shall have the authority to administer and enforce the provisions of this article as may be permitted by the City's Interlocal Agreement with the City of Dallas and as allowed by this Municipal Code of Ordinances. Any person who violates a provision of this article, or fails to comply therewith, or with any of the requirements thereof, is subject to suit for injunctive relief as well as in Municipal Court. Any violation of this article is declared to be a nuisance.
- (b) In the event of a violation of this article, the City shall first issue a notice of violation and allow the property owner five (5) business days to remove the violation and return the property to its natural state. Thereafter, any person violating any provision of this article shall -- *upon conviction* -- be fined a sum not exceeding \$500.00. Each day that a provision of this article is violated shall constitute a separate offence. An offense under this article is a *Class C Misdemeanor*, punishable by a fine not to exceed \$500.00.
- (c) Nothing in this article shall be construed as a waiver of the City's right to bring a civil action to enforce the provisions of this article and to seek remedies as allowed by law, including but not limited to the following: [1] injunctive relief to prevent specific conduct that violates this article or to require specific conduct that is necessary for compliance with this article; and [2] other available relief.

Staff has included an example ordinance with this language for the City Council's review. In addition, to the changes to the Municipal Code of Ordinances, the following changes to the Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) were also identified:

[ADDITIONS: HIGHLIGHTED]

(F) *General Requirements.*

- (5) *Temporary Structures on Leased Property in the Takeline Area.* Temporary structures (*e.g. portable residential barbecue grills and ranges, trampolines, etc.*) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6). For temporary structures on unleased property in the takeline area see Article III, *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*, of Chapter 22, *Miscellaneous Offenses*, of the Municipal Code of Ordinances.

Staff has included an example ordinance with this language for the City Council's review. If the City Council chooses to direct staff to proceed with these changes, the following is the timeline for all necessary actions:

- *April 16, 2021:* Staff initiates the text amendments to the Unified Development Code (UDC).
- *April 19, 2021:* The first reading of the ordinance changing the Municipal Code of Ordinances.
- *April 20, 2021:* The letter and lease is sent -- *by certified mail* -- to all property owners who have property adjacent to the takeline and which are eligible to lease property.
- *April 25, 2021:* The 30-day window for property owners who do not currently have a valid lease agreement to enter into a lease agreement at no charge begins.
- *May 3, 2021:* The second reading of the ordinance changing the Municipal Code of Ordinances.
- *May 11, 2021:* The Planning and Zoning Commission public hearing concerning ordinance changing the Unified Development Code (UDC).
- *May 17, 2021:* The City Council public hearing and first reading of the ordinance changing the Unified Development Code (UDC).
- *May 25, 2021:* The offer for lease agreements with no charge expires and staff begins enforcing the changes with regard to the Municipal Code of Ordinances.
- *June 7, 2021:* The second reading of the ordinance changing the Unified Development Code (UDC).

As stated above this is an example of the actions that can be taken by the City Council should they wish to regulate improvements and storage on unleased land within the takeline. With this being said, staff can proceed with any action amenable to the City Council. If the City Council has any questions staff and the City Attorney will be available at the April 5, 2021 City Council meeting.

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SUBSECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF JUNE, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

2nd Reading: June 7, 2021

DRAFT
ORDINANCE
04.27.2021

Exhibit 'A'

Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)

(F) *General Requirements.*

- (5) *Temporary Structures on Leased Property in the Takeline Area.* Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6). For temporary structures on unleased property in the takeline area see Article III, *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*, of Chapter 22, *Miscellaneous Offenses*, of the Municipal Code of Ordinances.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/21/2021

PROJECT NUMBER: P2021-019
PROJECT NAME: Gideon Grove Phase II
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	04/21/2021	Needs Review

04/21/2021: P2021-019; Final Plat for Gideon Grove, Phase 2 Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

I.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District 84 (PD-84), and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.4 For reference, include the case number (P2021-019) in the lower right-hand corner of all pages on future submittals.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to submittal on mylar for filing.

M.6 Use a larger & heavier font for the street names. [Chapter 38, Municipal Code of Ordinances]

M.7 Please provide one (1) hard copy and a PDF version for review by staff.

I.8 Please note the scheduled meetings for this case:

- (1) Planning & Zoning work session meeting will be held on April 27, 2021.
- (2) Parks and Recreation Board meeting will be held on May 3, 2021.
- (3) Planning & Zoning Public Hearing will be held on May 11, 2021. [Action Item]

(4) City Council Public Hearing will be held on May 17, 2021. [Action Item]

I.9 All meetings will be held in person in the City's Council Chambers and are scheduled to begin at 6:00 PM in the City's Council Chambers. The City requires that a representative(s) be present for all scheduled meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved w/ Comments

04/19/2021: P2021-005 (HENRY LEE)

Park District 5

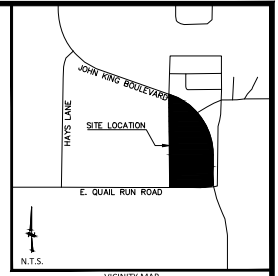
Cash in Lieu of Land $\$516.00 \times 84 = \$43,344.00$

Pro Rata Equipment Fees $\$489.00 \times 84 = \$41,076.00$

Total per lot (1) Lot \$1053.00 & Total for 84 lots \$84,420.00

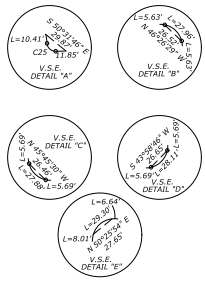
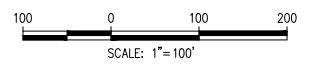
POINT OF BEGINNING
N: 7035836.98
E: 2598334.22

N. JOHN KING BLVD.
(A VARIABLE WIDTH RIGHT-OF-WAY)



TRACT 1
CALLED 28.2 ACRES
R & R HANCE INVESTMENTS, L.P.
VOL. 5702, PG. 99

CITY OF ROCKWALL
VOL. 5521, PG. 94
O.P.R.R.C.T.



Need detail
blowup for this
clip

Make all of Lot
23X a Drainage
and Detention
Easement

Inst. # to be included.
Offsite Easement to be
filed prior to filing of this
plat.

QUAIL RUN ROAD

N. JOHN KING BLVD.
(A VARIABLE WIDTH RIGHT-OF-WAY)

PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.

OWNER
GIDEON GROVE ADDITION 2 GP CORP.
8214 WESTCHESTER DRIVE, STE 710
DALLAS, TX 75225
(214) 522-4945
CONTACT: JOHN ARNOLD

DEVELOPER
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, STE 710
DALLAS, TX 75225
(214) 522-4945
CONTACT: HUMBERTO JOHNSON, JR.

ENGINE
PIERCE-MURRAY LAND SOLUTIONS, LLC
800 TALLYHO CIR.
TYLER, TX 75703

PAPER
6500 A.C.
FORT WORTH, TX 76116
SURVEYOR

FINAL PLAT
GIDEON GROVE PHASE 2

LOTS 1-12, 4X, BLOCK A; LOTS 1-4, 1X, 3X, BLOCK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X, BLOCK C; LOTS 1-26, 1X, 14X, BLOCK D; LOTS 1-13, 1X, 6X, BLOCK E; BEING 30.060 ACRES OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT NUMBER 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PIERCE-MURRAY
LAND SOLUTIONS
Engineering Surveying

800 TALLYHO CIRCLE
TYLER, TEXAS 75703
(817) 239-5646
(903) 539-2566
TPELS FIRM REGISTRATION NO. 10194437

THIS PLAT IS RECORDED IN DOCUMENT NUMBER _____, DATE: _____

SHEET 1 OF 2

OWNER'S CERTIFICATE

STATE OF TEXAS & COUNTY OF ROCKWALL &

WHEREAS GIDEON GROVE ADDITION 2 GP CORP., BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT NUMBER 13, ROCKWALL COUNTY, TEXAS AND BEING ALL OF THAT CERTAIN 80 ACRES TRACT DESCRIBED AS FOLLOWS: BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD SET AT THE NORTHWEST CORNER OF SAID GIDEON GROVE ADDITION 2 TRACT AND THE SOUTH RIGHT-OF-WAY OF N. JOHN KING BOULEVARD (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A 3/4" IRON ROD FOUND BEARS N 01°29'44" W, A DISTANCE OF 888.49 FEET MARKING THE NORTHWEST CORNER OF THAT CERTAIN 80 ACRE TRACT DESCRIBED BY DEED TO LONNIE L. GIDEON AS RECORDED IN VOLUME 307, PAGE 256, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE THE FOLLOWING COURSES AND DISTANCES ALONG THE SOUTHERLY AND WESTERLY RIGHT-OF-WAY OF SAID N. JOHN KING BOULEVARD COMMONLY KNOWN AS THE RIGHT-OF-WAY OF SAID GIDEON GROVE ADDITION 2 TRACT:

S 72°05'05" E, A DISTANCE OF 221.92' TO A 5/8" IRON ROD WITH CAP STAMPED "SERVICO" FOUND, BEING THE BEGINNING OF A CURVE TO THE RIGHT;

WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 1274.04'; A RADIUS OF 1040.00'; WITH A CHORD BEARING WHICH BEARS S 36°59'23" E, 1195.86';

S 01°53'42" E, A DISTANCE OF 243.24' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 02°35'19" W, A DISTANCE OF 140.71' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 01°53'42" E, A DISTANCE OF 41.83' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET; FOR THE BEGINNING OF A CURVE TO THE LEFT;

WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 151.03'; A RADIUS OF 1571.00'; WITH A CHORD WHICH BEARS S 05°42'42" E, 130.91' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 81°07'57" W, A DISTANCE OF 25.65' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 10°46'56" E, A DISTANCE OF 26.00' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 79°13'04" W, A DISTANCE OF 17.32' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET AT THE BEGINNING OF A CURVE TO THE RIGHT;

WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 131.03'; A RADIUS OF 742.50'; WITH A CHORD WHICH BEARS S 84°16'24" W, WITH A CHORD LENGTH OF 130.86';

S 83°34'16" W, A DISTANCE OF 82.52' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 09°48'09" W, A DISTANCE OF 19.00' TO AN X-CUT SET IN CONCRETE FOR THE SOUTHERLY MOST SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT AND BEING IN THE APPROXIMATE CENTER OF QUAIL RUN ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE DEPARTING SAID COMMON LINE AND ALONG THE SOUTH PROPERTY LINE OF SAID GIDEON GROVE ADDITION 2 AND THE APPROXIMATE CENTERLINE OF SAID QUAIL RUN ROAD S 89°12'52" W, A DISTANCE OF 656.77' TO AN X-CUT SET IN CONCRETE FOR THE SOUTHWEST CORNER OF SAID GIDEON GROVE ADDITION 2 TRACT;

THENCE N 01°29'44" W, ALONG THE EAST LINE OF SAID GIDEON GROVE ADDITION 2 TRACT AND THE WEST LINE OF THOSE CERTAIN TRACTS AS TRACT 1 AND TRACT 2 AS DESCRIBED BY DEED TO R. & INVESTMENTS, L.P., AS RECORDED IN VOLUME 5702, PAGE 99, DEED RECORDS, ROCKWALL COUNTY, TEXAS, A DISTANCE OF 1722.62 FEET TO THE POINT OF BEGINNING, CONTAINING 30.060 ACRES OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS & COUNTY OF ROCKWALL &

I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAN, AND DESCRIBED HEREIN AS THE GIDEON GROVE PHASE 2 SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC THE ALL STREETS, ALLEYS, EASEMENTS, DRAINAGE, AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I (WE) FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN THE GIDEON GROVE PHASE 2 SUBDIVISION HAVE BEEN NOTIFIED AND SIGNED THIS PLAN.

I (WE) UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAN FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I (WE) ALSO UNDERSTAND THE FOLLOWING:

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

4. THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND FINISH, CURB AND GUTTER, WATER AND SEWER STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL.

7. ALL NON-STANDARD, DECORATIVE SIGNS POLE/POST, HARDWARE OR OTHER NON-STANDARD ITEMS WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE HOME OWNERS ASSOCIATION.

8. LOT 4X, BLOCK A; LOT 1X, BLOCK B; LOT 3X, BLOCK B; LOT 1X, BLOCK C; LOT 1X, BLOCK C; LOT 23X, BLOCK C; LOT 27X, BLOCK C; LOT 28X, BLOCK C; LOT 1X, BLOCK D; LOT 1X, BLOCK E; LOT 6X, BLOCK E; AND ALL OPEN SPACE LOTS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT THE PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT; SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF THE WORK DONE.

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNING AND INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

I (WE) FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTIONS MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY. I (WE), MY (OUR) SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I (WE) MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

Property Owner Signature

STATE OF TEXAS &

COUNTY OF ROCKWALL &

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GIDEON GROVE ADDITION 2 GP CORP., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES _____

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST (IF APPLICABLE):

STATE OF TEXAS &

COUNTY OF ROCKWALL &

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GIDEON GROVE ADDITION 2 GP CORP., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES _____

Planning & Zoning Commission, Chairman Date

APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on _____ day of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2021.

PIERCE-MURRAY LAND SOLUTIONS Engineering & Surveying 800 TALLYHO CIRCLE TYLER, TEXAS 75703 (817) 239-5646 (903) 530-2096

TPBLS FIRM REGISTRATION NO. 10194437 MAYOR, CITY OF ROCKWALL CITY SECRETARY CITY ENGINEER

Table with columns: LINE, BEARING, DISTANCE. Contains 37 rows of survey data.

LEGEND: O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS; IR 1/2" IRON ROD W/YELLOW CAP STAMPED; BL "PIERCE-MURRAY" SET; DE BUILDING LINE; UE UTILITY EASEMENT; DE DRAINAGE EASEMENT; OPE OPEN SPACE EASEMENT; MIN. FFE MINIMUM FINISHED FLOOR ELEVATION; AC ACRES; ETJ EXTRA TERRITORIAL JURISDICTION; LAND USE TABLE with Residential Lots, Non-Residential Lots, Residential Acreage, Non-Residential Acreage, Right of Way Dedication, Park Acreage, Net Acreage, Total Acreage.

Add to Legend: V.S.E. Visibility and Sidewalk Easement

Table with columns: CURVE, ARC LENGTH, RADIUS, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Contains 29 rows of curve data.

GENERAL NOTES 1. BEARINGS BASED ON TEXAS COORDINATE SYSTEM, NAD 83, NORTH CENTRAL ZONE 4202, VIA THE ALLTERRA RTKNET VRS NETWORK. 2. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED. NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54. 3. THE SUBJECT PROPERTY IS WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS INDICATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAPS. SEE PANEL 48397C0030L, DATED SEPTEMBER 26, 2008.

SURVEYOR'S CERTIFICATION

I, CAMDEN D. PIERCE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAN FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS "SET" WERE PROPERLY PLACED UNDER MY DIRECTION AND SUPERVISION.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

CAMDEN D. PIERCE, RPLS 6791 DATE: JANUARY _____, 2021

FINAL PLAT

GIDEON GROVE PHASE 2 LOTS 1-12, 4X, BLOCK A; LOTS 1-4, 1X, 3X, BLOCK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X, BLOCK C; LOTS 1-26, 1X, 14X, BLOCK D; LOTS 1-13, 1X, 6X, BLOCK E; BEING 30.060 ACRES OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT NUMBER 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

Subdivision **Gideon, Phase 2** Lot Block

General Location ALONG THE SOUTH SIDE OF JOHN KING BLVD, NEAR THE INTERSECTION WITH E. QUAIL RUN ROAD.N WITH E. QUAIL RUN ROAD.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **ORD. NO. 17-25, PD-84**

Current Use **VACANT / AGRICULTURAL**

Proposed Zoning **ORD. NO. 17-25, PD-84**

Proposed Use **SINGLE-FAMILY RESIDENTIAL**

Acreage **30.060 AC** Lots [Current] **1** Lots [Proposed] **84**

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Gideon Grove Addition 2, Ltd., a Texas Limited Partnership
By: Gideon Grove Addition 2 GP Corporation, a Texas Corporation, its General Partner

Applicant **Skorburg Company**

Contact Person **John Arnold**

Contact Person **Humberto Johnson, Jr.**

Address **8214 Westchester Drive,
Suite 900**

Address **8214 Westchester Drive,
Suite 900**

City, State & Zip **Dallas, TX 75225**

City, State & Zip **Dallas, TX 75225**

Phone **214-522-4945**

Phone **214-888-8857**

E-Mail **jarnold@skorburgcompany.com**

E-Mail **jrjohnson@skorburgcompany.com**

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared John Arnold [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 401.20, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of April, 20 21. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated in any manner to a request for public information."

Given under my hand and seal of office on this the 15 day of April, 20 21.

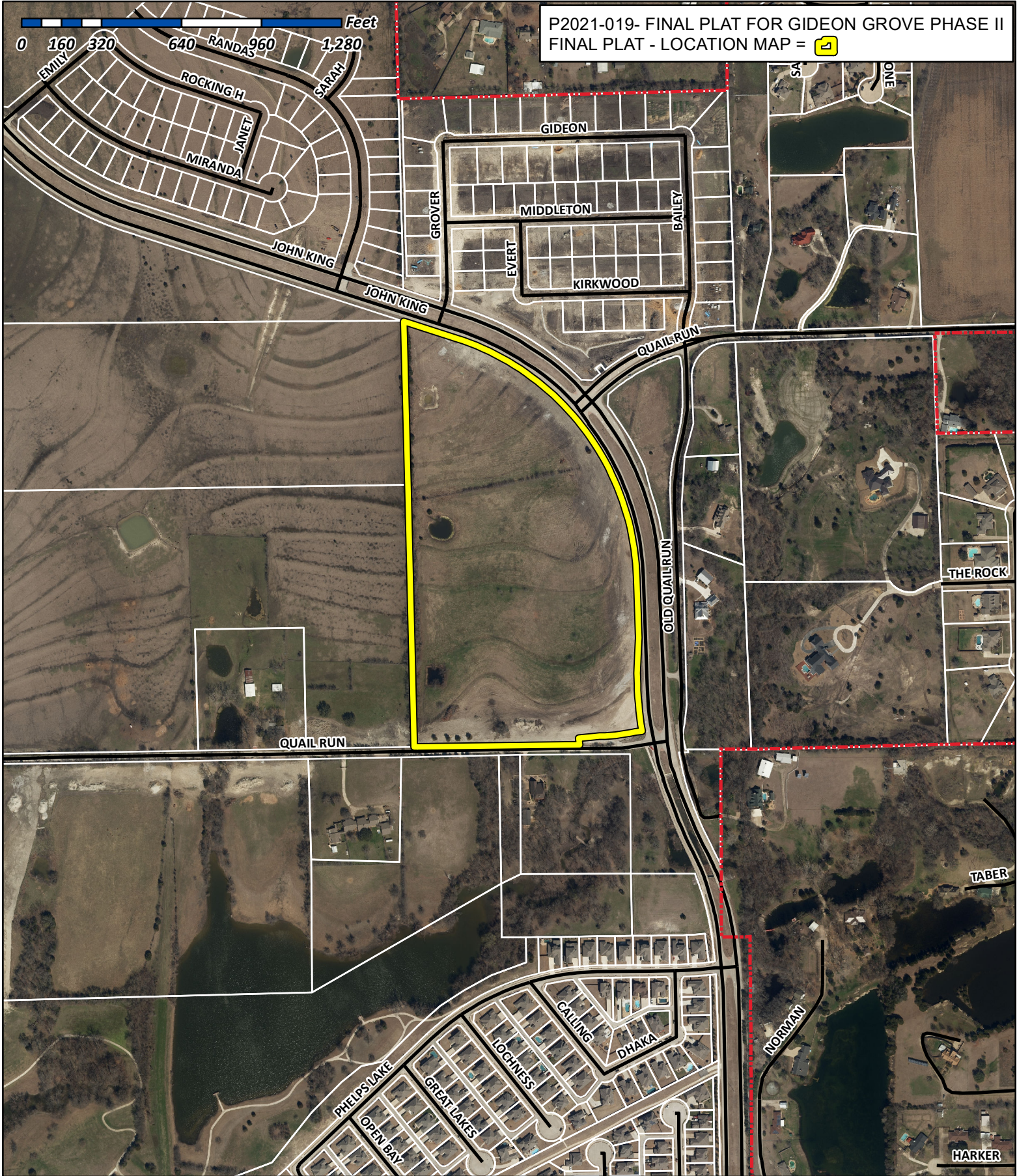
Owner's Signature

Notary Public in and for the State of Texas

Patricia Snyder



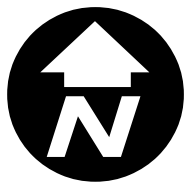
My Commission Expires 6/30/2023



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

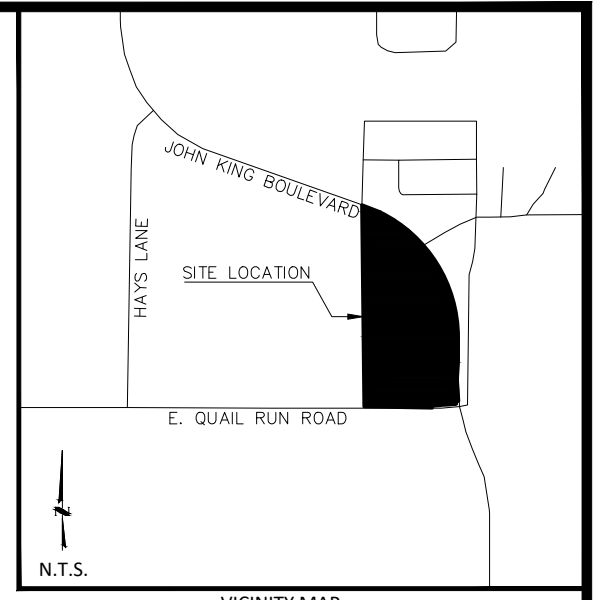


POINT OF BEGINNING
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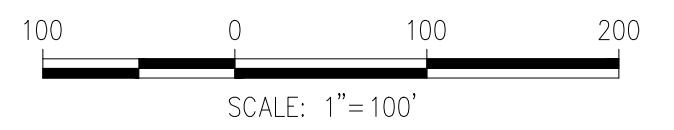
GIDEON GROVE
PHASE 1
PACESETER HOMES LLC
29.99 ACRES

N. JOHN KING BLVD.
(A VARIABLE WIDTH RIGHT-OF-WAY)

EAST QUAIL RUN ROAD



CITY OF ROCKWALL
VOL. 5951, PG. 84
O.P.R.R.C.T.

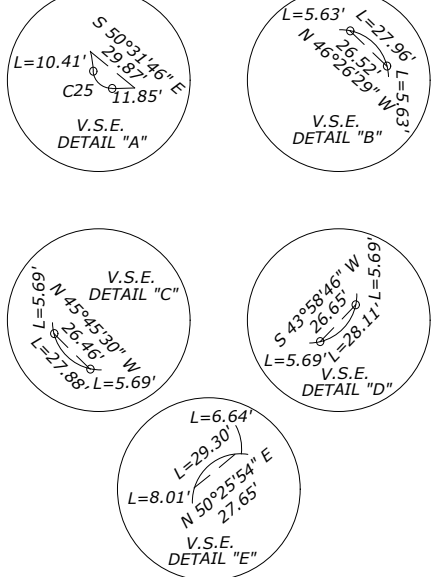


HERMAN UTLEY
CALLED 2.172 ACRE TRACT
VOLUME 4664, PAGE 273
D.R.R.C.T.

LOT 1, BLOCK A
D.R. TAYLOR ADDITION
E-317
O.P.R.R.C.T.

TRACT 1
CALLED 28.2 ACRES
R & R HANCE INVESTMENTS, L.P.
VOL. 5702, PG. 99

TRACT 2
CALLED 44.3 ACRES
SAVE AND EXCEPT 5 ACRES
R & R HANCE INVESTMENTS, L.P.
VOL. 5702, PG. 99



N 01°29'44\"/>

30.060 ACRES - GIDEON GROVE ADDITION 2, LTD. (DOC. NO. 2020000007041 O.P.R.R.C.T.)

JASPER STREET (50' ROW)

RUBY WAY (50' ROW)

OPAL DRIVE (50' ROW)

SAPPHIRE ROAD (50' ROW)

SEMI DRIVE (50' ROW)

DRAINAGE EASEMENT BY SEPARATE INSTRUMENT DOC. NO. O.P.R.R.C.T.

MICHAEL WURSTER AND JENNIFER WURSTER
DOC. NO. 2020000003578
O.P.R.R.C.T.

JOHN R. YINGLING AND WIFE LYNELLE C. YINGLING
VOL. 366, PG. 211
O.P.R.R.C.T.

CITY OF ROCKWALL
VOL. 5443, PG. 188
O.P.R.R.C.T.

QUAIL RUN ROAD

N. JOHN KING BLVD.
(A VARIABLE WIDTH RIGHT-OF-WAY)

PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.

PIERCE-MURRAY
LAND SOLUTIONS
Engineering & Surveying

800 TALLYHO CIRCLE
TYLER, TEXAS 75703
(817) 239-5646
(903) 539-2256
TBPELS FIRM REGISTRATION NO. 10194437

OWNER
GIDEON GROVE ADDITION 2 GP CORP.
8214 WESTCHESTER DRIVE, STE 710
DALLAS, TX 75225
(214) 522-4945
CONTACT: JOHN ARNOLD

DEVELOPER
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, STE 710
DALLAS, TX 75225
(214) 522-4945
CONTACT: HUMBERTO JOHNSON, JR.

ENGINEER
PAPE-DAWSON ENGINEERS, INC.
6500 WEST FREEWAY, STE 700
FORT WORTH, TX 76116

SURVEYOR
PIERCE-MURRAY LAND SOLUTIONS, LLC
800 TALLYHO CIR.
TYLER, TX 75703

FINAL PLAT
GIDEON GROVE PHASE 2

LOTS 1-12, 4X, BLOCK A; LOTS 1-4, 1X, 3X, BLOCK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X, BLOCK C; LOTS 1-26, 1X, 14X, BLOCK D; LOTS 1-13, 1X, 6X, BLOCK E; BEING 30.060 ACRES OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT NUMBER 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THIS PLAT IS RECORDED IN DOCUMENT NUMBER _____, DATE: _____ SHEET 1 OF 2

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS GIDEON GROVE ADDITION 2 GP CORP., BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT NUMBER 13, ROCKWALL COUNTY, TEXAS AND BEING ALL OF THAT CERTAIN TRACT OF LAND DESCRIBED BY DEED TO GIDEON GROVE ADDITION 2, LTD. AS RECORDED IN INSTRUMENT NUMBER 2017000008390, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD SET AT THE NORTHWEST CORNER OF SAID GIDEON GROVE ADDITION 2 TRACT AND THE SOUTH RIGHT-OF-WAY OF N. JOHN KING BOULEVARD (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A 3/8" IRON ROD FOUND BEARS N 01°29'44" W, A DISTANCE OF 888.49 FEET MARKING THE NORTHWEST CORNER OF THAT CERTAIN 80 ACRE TRACT DESCRIBED BY DEED TO LONNIE L. GIDEON AS RECORDED IN VOLUME 307, PAGE 256, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE THE FOLLOWING COURSES AND DISTANCES ALONG THE SOUTHERLY AND WESTERLY RIGHT-OF-WAY OF SAID N. JOHN KING BOULEVARD COMMON WITH THE NORTHERLY AND EASTERLY LINE OF SAID GIDEON GROVE ADDITION 2 TRACT;

S 72°05'05" E, A DISTANCE OF 221.92' TO A 5/8" IRON ROD WITH CAP STAMPED "SERVCO" FOUND, BEING THE BEGINNING OF A CURVE TO THE RIGHT;

WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 1274.04', A RADIUS OF 1040.00', WITH A CHORD BEARING WHICH BEARS S 36°59'23" E, 1195.86';

S 01°53'42" E, A DISTANCE OF 243.24' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 02°35'19" W, A DISTANCE OF 140.71' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 01°53'42" E, A DISTANCE OF 41.83' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET FOR THE BEGINNING OF A CURVE TO THE LEFT;

WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 191.03', A RADIUS OF 1571.00', WITH A CHORD WHICH BEARS S 05°22'42" E, 190.91' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 81°07'57" W, A DISTANCE OF 25.65' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 10°46'56" E, A DISTANCE OF 26.00' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 79°13'04" W, A DISTANCE OF 17.32' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET AT THE BEGINNING OF A CURVE TO THE RIGHT;

WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 131.03', A RADIUS OF 742.50', WITH A CHORD WHICH BEARS S 84°16'24" W, WITH A CHORD LENGTH OF 130.86';

S 83°34'16" W, A DISTANCE OF 82.52' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 00°48'09" W, A DISTANCE OF 19.00' TO AN X-CUT SET IN CONCRETE FOR THE SOUTHERLY MOST SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT AND BEING IN THE APPROXIMATE CENTER OF QUAIL RUN ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE DEPARTING SAID COMMON LINE AND ALONG THE SOUTH PROPERTY LINE OF SAID GIDEON GROVE ADDITION 2 AND THE APPROXIMATE CENTERLINE OF SAID QUAIL RUN ROAD S 89°12'52" W, A DISTANCE OF 656.77' TO AN X-CUT SET IN CONCRETE FOR THE SOUTHWEST CORNER OF SAID GIDEON GROVE ADDITION 2 TRACT;

THENCE N 01°29'44" W, ALONG THE EAST LINE OF SAID GIDEON GROVE ADDITION 2 TRACT AND THE WEST LINE OF THOSE CERTAIN TRACTS OF LAND DESCRIBED AS TRACT 1 AND TRACT 2 AS DESCRIBED BY DEED TO R & R INVESTMENTS, L.P., AS RECORDED IN VOLUME 5702, PAGE 99, DEED RECORDS, ROCKWALL COUNTY, TEXAS, A DISTANCE OF 1722.62 FEET TO THE POINT OF BEGINNING, CONTAINING 30.060 ACRES OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE GIDEON GROVE PHASE 2 SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I (WE) FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN THE GIDEON GROVE PHASE 2 SUBDIVISION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT. I (WE) UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I (WE) ALSO UNDERSTAND THE FOLLOWING;

- 1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
4. THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL.
7. ALL NON-STANDARD, DECORATIVE SIGNS POLE/POST, HARDWARE OR OTHER NON-STANDARD ITEMS WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE HOME OWNERS ASSOCIATION.
8. LOT 4X, BLOCK A; LOT 1X, BLOCK B; LOT 3X, BLOCK B; LOT 1X, BLOCK C; LOT 18X, BLOCK C; LOT 23X, BLOCK C; LOT 27X, BLOCK C; LOT 28X, BLOCK C; LOT 1X, BLOCK D; LOT 14X, BLOCK D; LOT 1X, BLOCK E; LOT 6X, BLOCK E; AND ALL OPEN SPACE LOTS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.
I (WE) FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I (WE), MY (OUR) SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I (WE) MAY HAVE AS A RESULT OF THE DEDICATION OR EXACTIONS MADE HEREIN.

Property Owner Signature

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GIDEON GROVE ADDITION 2 GP CORP., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS DAY OF 2021.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST [IF APPLICABLE:]

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GIDEON GROVE ADDITION 2 GP CORP., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS DAY OF 2021.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

Table with columns: LINE, BEARING, DISTANCE. Lists 37 lines of survey data.

LEGEND: O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS; IRS 1/2" IRON ROD W/YELLOW CAP STAMPED "PIERCE-MURRAY" SET; BL BUILDING LINE; UE UTILITY EASEMENT; DE DRAINAGE EASEMENT; OPE OPEN SPACE EASEMENT; MIN. FFE MINIMUM FINISHED FLOOR ELEVATION; AC ACRES; ETJ EXTRA TERRITORIAL JURISDICTION.

LAND USE TABLE: RESIDENTIAL LOTS 84; NON-RESIDENTIAL LOTS 11; RESIDENTIAL ACREAGE 16.089 AC.; NON-RESIDENTIAL ACREAGE 7.051 AC.; RIGHT OF WAY DEDICATION 6.920 AC.; PARK ACREAGE 0.000 AC.; NET ACREAGE 23.140 AC.; TOTAL ACREAGE 30.060 AC.

Table with columns: CURVE, ARC LENGTH, RADIUS, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Lists 29 curves of survey data.

GENERAL NOTES

- 1. BEARINGS BASED ON TEXAS COORDINATE SYSTEM, NAD 83, NORTH CENTRAL ZONE 4202, VIA THE ALLTERRA RTKNET VRS NETWORK.
2. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
3. THE SUBJECT PROPERTY IS WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS INDICATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAPS. SEE PANEL 48397C0030L, DATED SEPTEMBER 26, 2008.

SURVEYOR'S CERTIFICATION

I, CAMDEN D. PIERCE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS "SET" WERE PROPERLY PLACED UNDER MY DIRECTION AND SUPERVISION.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

CAMDEN D. PIERCE, RPLS 6791
DATE: JANUARY 2021

Approval section including: Planning & Zoning Commission, Chairman; APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the day of 2021; This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval; WITNESS OUR HANDS, this day of 2021; MAYOR, CITY OF ROCKWALL; CITY SECRETARY; CITY ENGINEER.



FINAL PLAT
GIDEON GROVE PHASE 2
LOTS 1-12, 4X, BLOCK A; LOTS 1-4, 1X, 3X, BLOCK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X, BLOCK C; LOTS 1-26, 1X, 14X, BLOCK D; LOTS 1-13, 1X, 6X, BLOCK E; BEING 30.060 ACRES OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT NUMBER 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/22/2021

PROJECT NUMBER: P2021-020
PROJECT NAME: Preliminary Plat for Fit Sport Life Addition
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Preliminary Plat for Lots 1-6, Block A, Fit Sport Life Addition being a 55.784-acre tract of land identified as a portion of Tract 22 and all of Tracts 22-2 & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and FM-549 Overlay (FM-549 OV) Districts, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	04/21/2021	Needs Review

04/21/2021: P2021-020; Preliminary Plat for Lots 1-6, Block A, Fit Sport Life Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Lots 1-6, Block A, Fit Sport Life Addition being a 55.784-acre tract of land identified as a portion of Tract 22 and all of Tracts 22-2 & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and FM-549 Overlay (FM-549 OV) Districts, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

I.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.3 For reference, include the case number (P2021-020) in the lower right-hand corner of all pages on future submittals.

M.4 Title Block: Remove the '?' and replace with 'Block A' (i.e. Lots 1-6, Block A, Fit Sport Life Addition). [Chapter 38, Subdivisions, Municipal Code of Ordinances]

M.5 Complete the Owner/Developer Information (i.e. not John Doe, Main Street, etc.). [Chapter 38, Subdivisions, Municipal Code of Ordinances]

M.6 Label the building lines where adjacent to a street. [Chapter 38, Subdivisions, Municipal Code of Ordinances]

M.7 Label all existing and proposed easements relative to the site and include type, purpose, and width. [Chapter 38, Subdivisions, Municipal Code of Ordinances]

M.8 Label all existing street and proposed street names. Proposed street names require approval of the name to be used by the GIS Department. [Chapter 38, Subdivisions, Municipal Code of Ordinances]

M.9 Provide a label and center line for all street widths. [Chapter 38, Subdivisions, Municipal Code of Ordinances]

M.10 Indicate all corner clips/visibility triangles for the site. [Chapter 38, Subdivisions, Municipal Code of Ordinances]

M.11 Are there any median openings proposed? [Chapter 38, Subdivisions, Municipal Code of Ordinances]

I.12 Are all drainage areas/easements indicated (proposed and exiting)?

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections, and provide any additional information that is requested by staff. Revisions for this case will be due as soon as possible or within 30 days of approval.

M.14 Please provide one (1) hard copy and a PDF/electronic version for review by staff.

I.15 Please note the scheduled meetings for this case:

- (1) Planning & Zoning work session meeting will be held on April 27, 2021.
- (2) Planning & Zoning Public Hearing will be held on May 11, 2021. [Action Item]
- (3) City Council Public Hearing will be held on May 17, 2021. [Action Item]

I.16 All meetings will be held in person in the City's Council Chambers and are scheduled to begin at 6:00 PM in the City's Council Chambers. The City requires that a representative(s) be present for all scheduled meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M -Preliminary plats are required to show all existing and proposed utilities and detention areas.

M -Need to show the up-sizing of the existing sanitary sewer off-site per the infrastructure study.

M - Include 30'x30' ROW clips at IH30 intersection.

M - Include a 10' wide Utility Easement along all street frontage.

M - Elbow of street to be dimensioned to Match Section 2 - Figure 2.1C of Standards of Design and Construction.

M - Must tie two points to Rockwall GPS. N: , E:

M - Include 30'x30' ROW clips at Corporate Crossing.

M - Label the NTMWD easement width.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	04/22/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved

No Comments

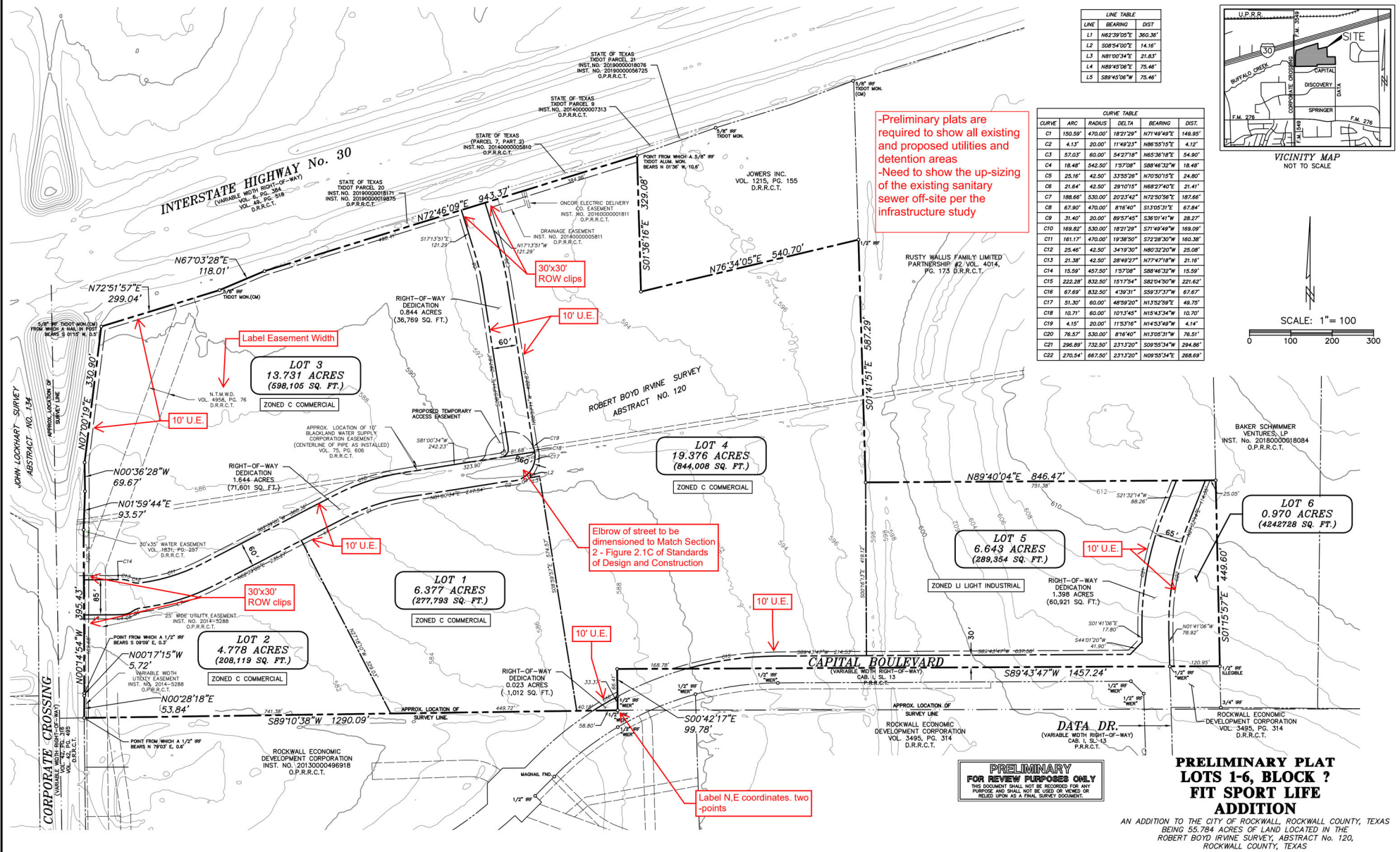
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	04/22/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

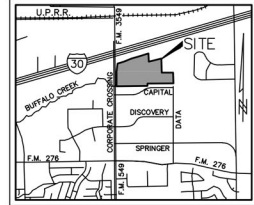
04/19/2021: No comments

PRINTED: 4/16/2021 5:16 PM FILE: WER-SURVEY/STB LAST SAVED: 4/7/2021 10:16 AM SAVED BY: RANDY E. PRELIMINARY PLAT-1914.DWG

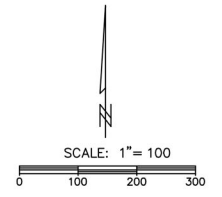


LINE	BEARING	DIST
L1	N62°39'05"E	360.36'
L2	S08°54'00"E	14.16'
L3	N81°00'34"E	21.83'
L4	N89°45'06"E	75.46'
L5	S89°45'06"W	75.46'

CURVE	ARC	RADIUS	DELTA	BEARING	DIST.
C1	150.58'	470.00'	182°17'29"	N71°49'49"E	148.89'
C2	4.13'	20.00'	11°49'23"	N86°55'15"E	4.12'
C3	57.03'	60.00'	54°27'18"	N65°36'18"E	54.90'
C4	18.48'	542.50'	1°57'08"	S88°46'32"W	18.48'
C5	25.16'	42.50'	33°55'28"	N70°50'15"E	24.80'
C6	21.64'	42.50'	29°10'17"	N69°27'40"E	21.41'
C7	188.68'	530.00'	202°24'47"	N72°50'58"E	187.86'
C8	67.80'	470.00'	87°46'40"	S13°05'31"E	67.84'
C9	31.40'	30.00'	89°57'45"	S38°19'41"W	28.27'
C10	168.82'	530.00'	182°17'29"	S71°49'49"W	168.09'
C11	161.17'	470.00'	193°58'30"	S72°28'30"W	160.38'
C12	25.46'	42.50'	34°19'30"	N80°32'20"W	25.08'
C13	21.38'	42.50'	28°49'27"	N77°47'18"W	21.16'
C14	15.99'	457.50'	1°57'08"	S88°46'32"W	15.59'
C15	222.28'	832.50'	157°17'54"	S82°04'50"W	221.62'
C16	67.69'	832.50'	4°39'31"	S59°37'37"W	67.67'
C17	51.30'	80.00'	48°59'20"	N13°52'59"E	49.75'
C18	10.71'	60.00'	107°14'45"	N18°43'34"W	10.70'
C19	4.15'	20.00'	11°53'16"	N14°31'49"W	4.14'
C20	76.57'	530.00'	87°46'40"	N13°05'31"E	76.51'
C21	296.89'	732.50'	237°37'20"	S09°59'34"W	294.86'
C22	270.54'	667.50'	237°37'20"	N09°55'34"E	268.69'



VICINITY MAP NOT TO SCALE



-Preliminary plats are required to show all existing and proposed utilities and detention areas
 -Need to show the up-sizing of the existing sanitary sewer off-site per the infrastructure study

Elbow of street to be dimensioned to Match Section 2 - Figure 2.1.C of Standards of Design and Construction

PRELIMINARY FOR REVIEW PURPOSES ONLY
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR WELCH OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

**PRELIMINARY PLAT
 LOTS 1-6, BLOCK ?
 FIT SPORT LIFE
 ADDITION**

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS BEING 55.784 ACRES OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER
 JOHN DOE
 201 MAIN STREET
 ARLINGTON, TEXAS 76015
 CONTACT: ---
 PH: (817) 000-0000
 FAX: (817) 000-0000

ENGINEER / SURVEYOR
 WIER & ASSOCIATES, INC.
 2201 E. LAMAR BLVD., SUITE 200E
 ARLINGTON, TEXAS 76010
 CONTACT: RANDY EARDLEY, P.E.
 PH: (817) 467-7700
 FAX: (817) 467-7713

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76010 METRO 1817 467-7700
 Texas Notary Public No. F-5776 www.WierAssociates.com
 Texas Board of Professional Land Surveying Registration No. 00353000



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹ **55.784 acres**
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION **Southeast corner of IH 30 and Corporate Crossing**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial C**

CURRENT USE **Vacant**

PROPOSED ZONING **N/A**

PROPOSED USE **Sports Complex**

ACREAGE **55.784 total**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **6**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Structured REA-Rockwall Land, LLC**

APPLICANT **Wier & Associates, Inc.**

CONTACT PERSON **Stephen Doyle**

CONTACT PERSON **Randall Eardley**

ADDRESS **171 N Aberdeen Street, Suite 400**

ADDRESS **2201 E. Lamar Blvd, Ste 200E**

CITY, STATE & ZIP **Chicago, Illinois 60607**

CITY, STATE & ZIP **Arlington, Texas 76006**

PHONE **847-951-8974**

PHONE **817-467-7700**

E-MAIL **SteveD@structuredrea.com**

E-MAIL **RandyE@WierAssociates.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen Doyle [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,036.76 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 20 21 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

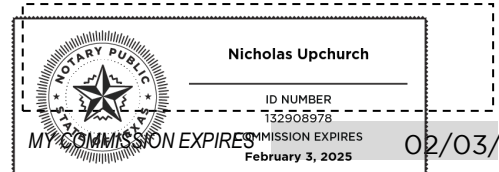
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 20 21.

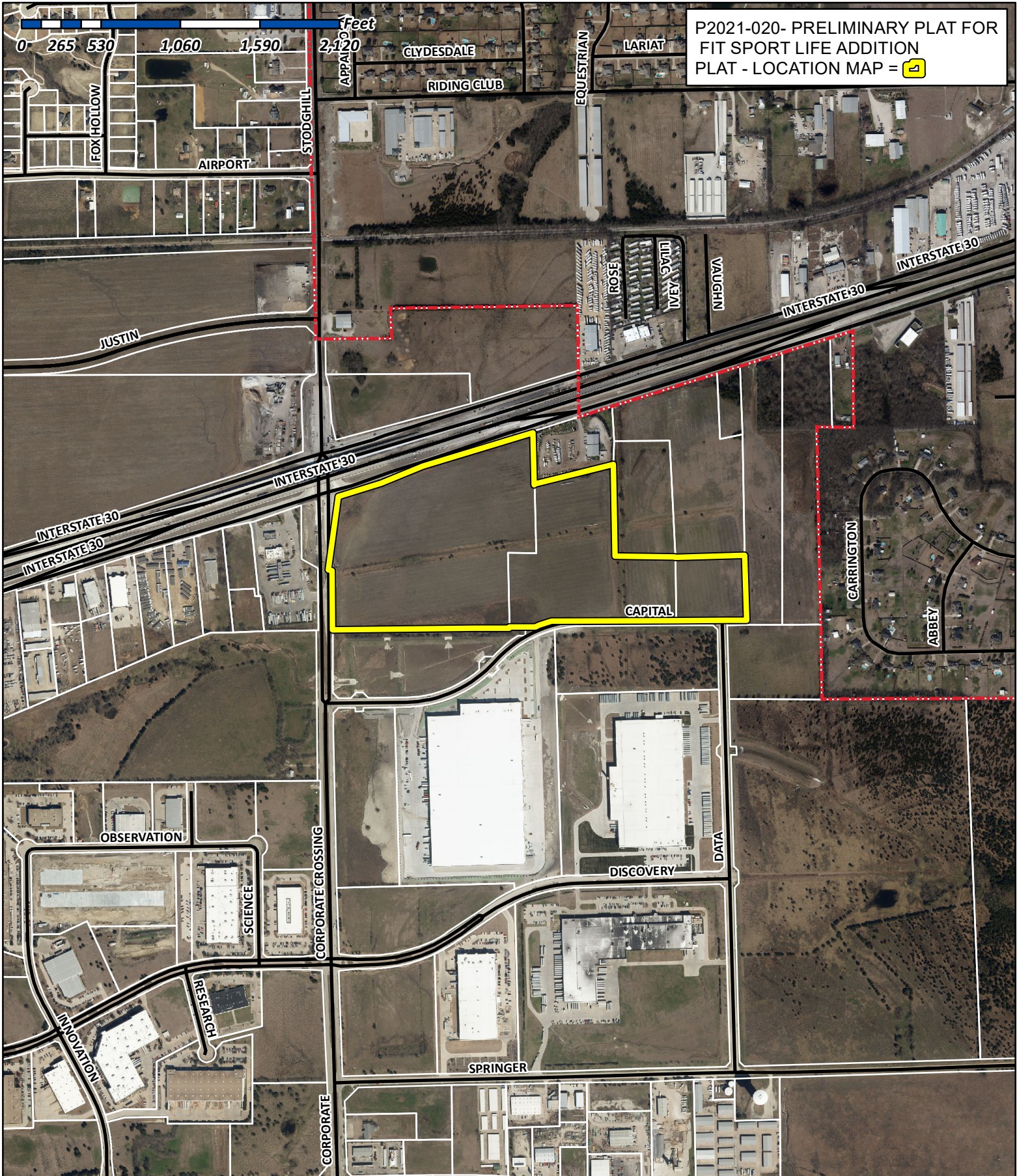
OWNER'S SIGNATURE


Stephen Doyle

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Nicholas Upchurch





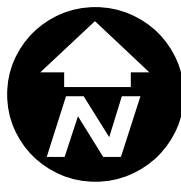
P2021-020- PRELIMINARY PLAT FOR
FIT SPORT LIFE ADDITION
PLAT - LOCATION MAP = 



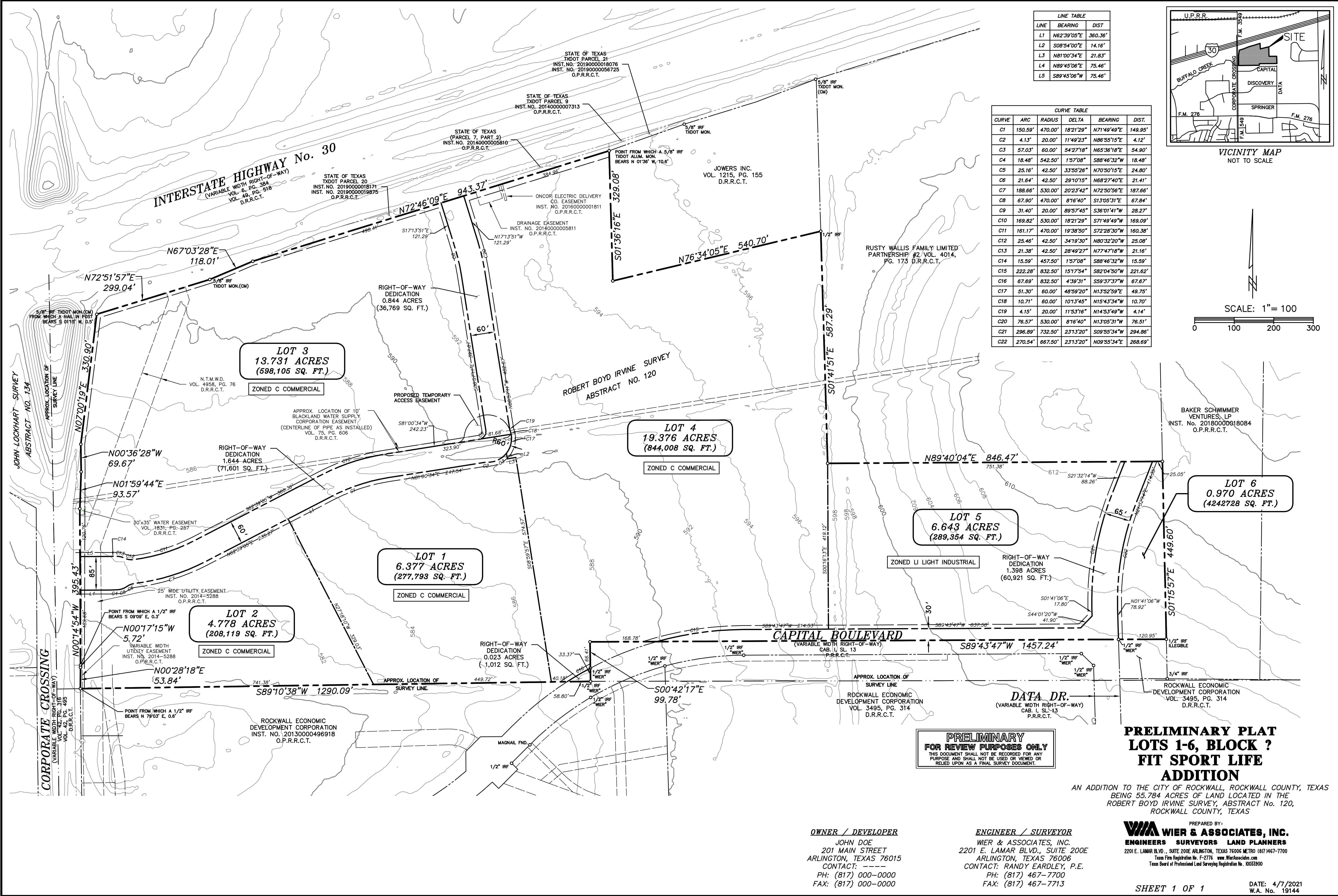
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PRINTED: 4/16/2021 10:16 AM FILE: WIER-SURVEY.STB LAST SAVED: 4/7/2021 10:16 AM SAVED BY: RANDY E. FILE: PRELIMINARY-PLAT-19144.DWG

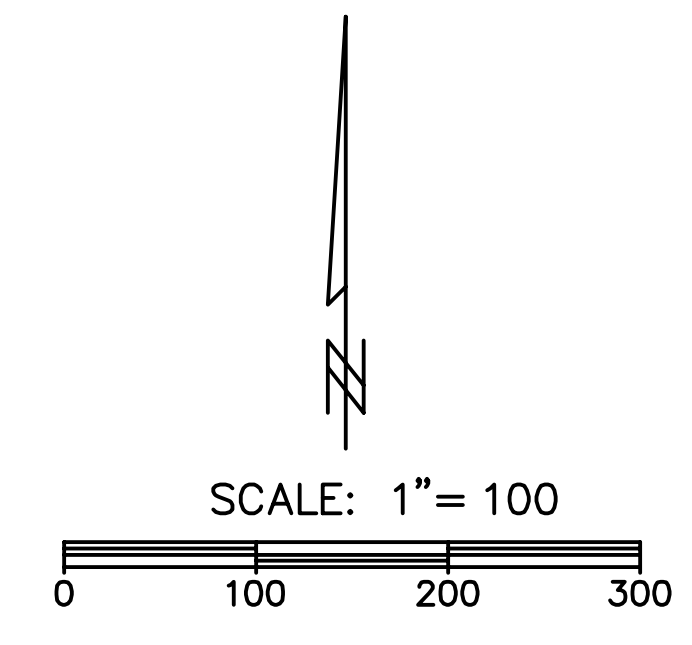
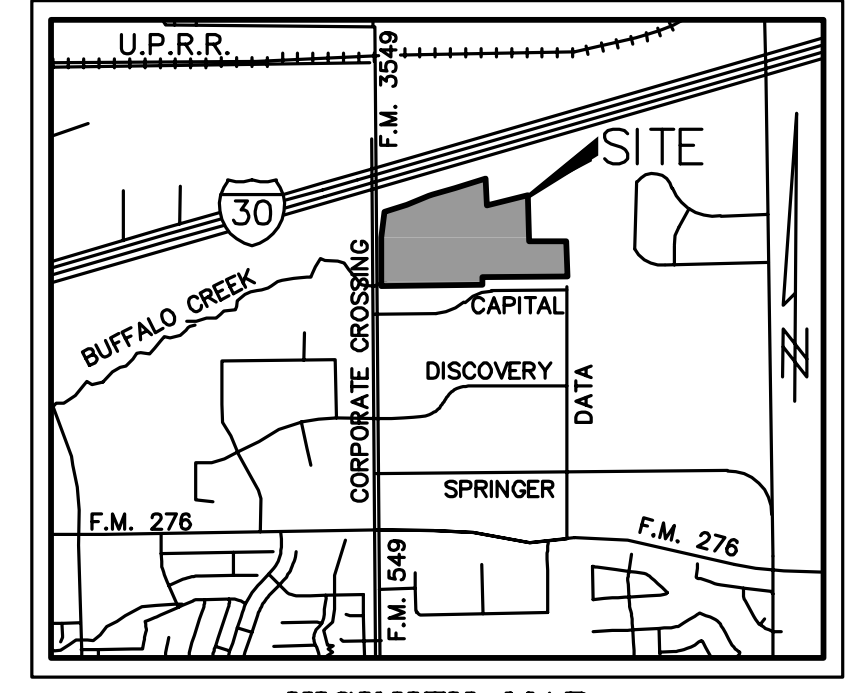


LINE TABLE

LINE	BEARING	DIST
L1	N62°39'05"E	360.36'
L2	S08°54'00"E	14.16'
L3	N81°00'34"E	21.83'
L4	N89°45'06"E	75.46'
L5	S89°45'06"W	75.46'

CURVE TABLE

CURVE	ARC	RADIUS	DELTA	BEARING	DIST.
C1	150.59'	470.00'	18°21'29"	N71°49'49"E	149.95'
C2	4.13'	20.00'	11°49'23"	N86°55'15"E	4.12'
C3	57.03'	60.00'	54°27'18"	N65°36'18"E	54.90'
C4	18.48'	542.50'	1°57'08"	S88°46'32"W	18.48'
C5	25.16'	42.50'	33°55'26"	N70°50'15"E	24.80'
C6	21.64'	42.50'	29°10'15"	N68°27'40"E	21.41'
C7	188.66'	530.00'	20°23'42"	N72°50'56"E	187.66'
C8	67.90'	470.00'	8°16'40"	S13°05'31"E	67.84'
C9	31.40'	20.00'	89°57'45"	S36°01'41"W	28.27'
C10	169.82'	530.00'	18°21'29"	S71°49'49"W	169.09'
C11	161.17'	470.00'	19°38'50"	S72°28'30"W	160.38'
C12	25.46'	42.50'	34°19'30"	N80°32'20"W	25.08'
C13	21.38'	42.50'	28°49'27"	N77°47'18"W	21.16'
C14	15.59'	457.50'	1°57'08"	S88°46'32"W	15.59'
C15	222.28'	832.50'	15°17'54"	S82°04'50"W	221.62'
C16	67.69'	832.50'	4°39'31"	S89°37'37"W	67.67'
C17	51.30'	60.00'	48°59'20"	N13°52'59"E	49.75'
C18	10.71'	60.00'	10°13'45"	N15°43'34"W	10.70'
C19	4.15'	20.00'	11°53'16"	N14°53'49"W	4.14'
C20	76.57'	530.00'	8°16'40"	N13°05'31"W	76.51'
C21	296.89'	732.50'	23°13'20"	S09°55'34"W	294.86'
C22	270.54'	667.50'	23°13'20"	N09°55'34"E	268.69'



PRELIMINARY FOR REVIEW PURPOSES ONLY
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

PRELIMINARY PLAT LOTS 1-6, BLOCK ? FIT SPORT LIFE ADDITION

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS BEING 55.784 ACRES OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER
 JOHN DOE
 201 MAIN STREET
 ARLINGTON, TEXAS 76015
 CONTACT: -----
 PH: (817) 000-0000
 FAX: (817) 000-0000

ENGINEER / SURVEYOR
 WIER & ASSOCIATES, INC.
 2201 E. LAMAR BLVD., SUITE 200E
 ARLINGTON, TEXAS 76006
 CONTACT: RANDY EARDLEY, P.E.
 PH: (817) 467-7700
 FAX: (817) 467-7713

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
 Texas Firm Registration No. F-2716 www.WierAssociates.com
 Texas Board of Professional Land Surveying Registration No. 10033900

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/22/2021

PROJECT NUMBER: SP2021-010
PROJECT NAME: Site Plan for FitSports Life
SITE ADDRESS/LOCATIONS:

CASE MANAGER: David Gonzales
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: dgonzales@rockwall.com

CASE CAPTION: Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Site Plan for a sports and recreation facility on a 6.38-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and FM-549 Overlay (FM-549 OV) Districts, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - The "relocated water meter" can't be on the water line because it doesn't serve the businesses on IH30.

M - Make sure the geometry of the temporary turnaround facilitates the future eyebrow configuration.

M - Min 10' separation for Fire Line to all other utilities.

M - Dumpster Enclosure to have a drain to a Oil/water separator. To drain to storm system.

M - Show paving connection to Corporate Crossing.

M - Show installation of the left turn lane on Corporate Crossing.

M - Show water line and sanitary sewer line behind curb per City standard in street like in site plan.

M - Install 12" water along Corporate Crossing and IH30 along the street frontage.

M - Move Blackland meter to the end of 12" water line.

M - Show and Label NTMWD Easement.

The following items are informational for the engineering design review.

General Items:

I - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls 18" and over must be rock or stone face. No smooth concrete walls.

I - All power lines will be underground.

I - Must have NTMWD approval to cross the easements.

Drainage Items:

M- Detention is required. No walls allowed in drainage/detention easements.

I - Maximum slope is 4:1 (25%).

- I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method and have detention study submitted. Review fees apply.
- I - Manning's C-value is per zoning type.
- I - Show and label dumpster areas to drain to oil/water separator and then to the storm lines.
- I - No grate inlets allowed.
- I - Verify that this project is "allowed" to drain to existing detention

Water and Wastewater Items:

- I - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- I - Minimum public sewer is 8". Full panel concrete replacement will be required for repairs.
- I - Must loop a minimum 8" water line on site.
- I - Must upsize the sewer line per the approved infrastructure study.
- I - Sewer pro-rata of \$2773.07/acre.
- M - Dumpster Enclosure to have a drain to a Oil/water separator. To drain to storm system.

Roadway Paving Items:

- I - Parking to be 20'x9' facing the building or nose-to-nose. Parallel parking spaces must be 22'x9'.
- I - No dead-end parking allowed.
- I - Drive isles to be 24' wide min.
- I - Drive thru lanes and bypass lane must be 12' minimum.
- I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- I - Fire lane to be in a platted easement.
- I - Traffic Impact Analysis is required for the roadways.
- I - TXDOT permits required.
- I - Existing street pavement cuts shall be full panel replacement.
- I - Public streets to meet city driveway spacing requirements.
- I - Must dedicate ROW for Data Dr to connect to IH30 per the Master Thoroughfare Plan. (60' ROW, 41B-B paving)
- M- Show paving connection to Corporate Crossing
- M- Show installation of the left turn lane on Corporate Crossing

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - No mulch allowed in positive drainage areas that may migrate into storm system or ROW.
- I - No trees or landscaping in NTMWD easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	04/22/2021	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	David Gonzales	04/22/2021	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	04/22/2021	Approved w/Condition

04/22/2021: efowler03/26/2021 9:26 AM

- Consider ground wash lighting or directional lights in the grass areas on the edges of all parking lots and shrubs to eliminate any shadows or areas that a person might be capable of hiding.
- Consider directional lighting on all sides of the business, industry standard or greater.
- Consider lighting in recessed areas (exterior) of the building to eliminate any shadows or places someone could hide. • Consider lighting in or around dumpsters to eliminate shadowed areas for individuals to hide and/or commit crimes including assault, robbery, ID theft, etc.
- Consider parabolic mirror(s) and security cameras to provide a light of sight for anyone who may be hiding inside restricted or confined areas.
- Consider the addition of bollards to the front and sides of the complex to prevent accidents and vehicles being used to break into the businesses.
- Consider all existing and new exterior doors being equipped with alarm contact sensors and all new and existing windows with glass break sensors.
- Consider window laminate that will reduce sun exposure and reduce ability to break or breach glass on the building. • Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex. Cameras should be IR capable and industry standard or higher.
- Consider camera monitors for all doors, including South doors of the business to ensure that employees will have a complete and unobstructed view prior to exiting the business. • Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crime-proof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.
- Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	David Gonzales	04/22/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	04/21/2021	Needs Review

04/21/2021: SP2021-010; Subsequent Submittal - Site Plan for Fit Sports Life Complex – FM-549 & IH-30

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a sports and recreation facility on a 6.38-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2021-010) in the lower right-hand corner of all pages of all revised plan submittals. Remove the MISC-21-#### label. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and the Development Standards of Article 05 that are applicable to the subject property.

M.5 All pages of the site plan (i.e. photometric plan, landscape plan, treescape plan, and building elevations) are required to have a signature block affixed to each plan for the Planning and Zoning Commission Chairman and the Director of Planning to sign once approved. (§03.04.A, Art. 11, UDC)

I.6 Please note that the property will require a final plat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.7 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Mechanical Equipment Screening. Are the units on the ground or on the roof? If on roof, dash-in RTU's or indicate on building elevations. If ground mounted, indicate locations on site and provide screening detail - All buildings shall be designed so that no HVAC, satellite dishes, appurtenances and/or any other mechanical equipment visible from any direction. This shall include equipment located on the roof, on the ground, or otherwise attached to the building or located on the site? Provide screening detail. (§06.02.C.3, of Art. 05, UDC)

M.9 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Although the plan calls for more than the required percentage of landscaping, please correct the zoning district percentage from 15% to 20% on the landscape plan. (§01.01.B, Art. 05, UDC)

2) The detention pond requires a minimum of one (1) canopy tree and one (1) accent tree per each 750-SF of detention area. Provide the correct number of trees for this area. (§05.03.D, Art. 08, UDC)

M.10 Treescape Plan. Plan is OK as submitted, mitigation satisfied with tree plantings.

M.11 Photometric Plan. Please make the following clarifications and changes to the photometric plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Provide cut sheets for all exterior lighting fixtures. (§03.03, Art. 07,UDC)

M.12 Building Elevations. Requires review by the Architectural Review Board (ARB) and a recommendation from the ARB forwarded to the Planning and Zoning Commission for consideration.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on May 4, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections, and provide any additional

information that is requested by staff. Revisions for this case will be due no later than May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning & Zoning Meeting.

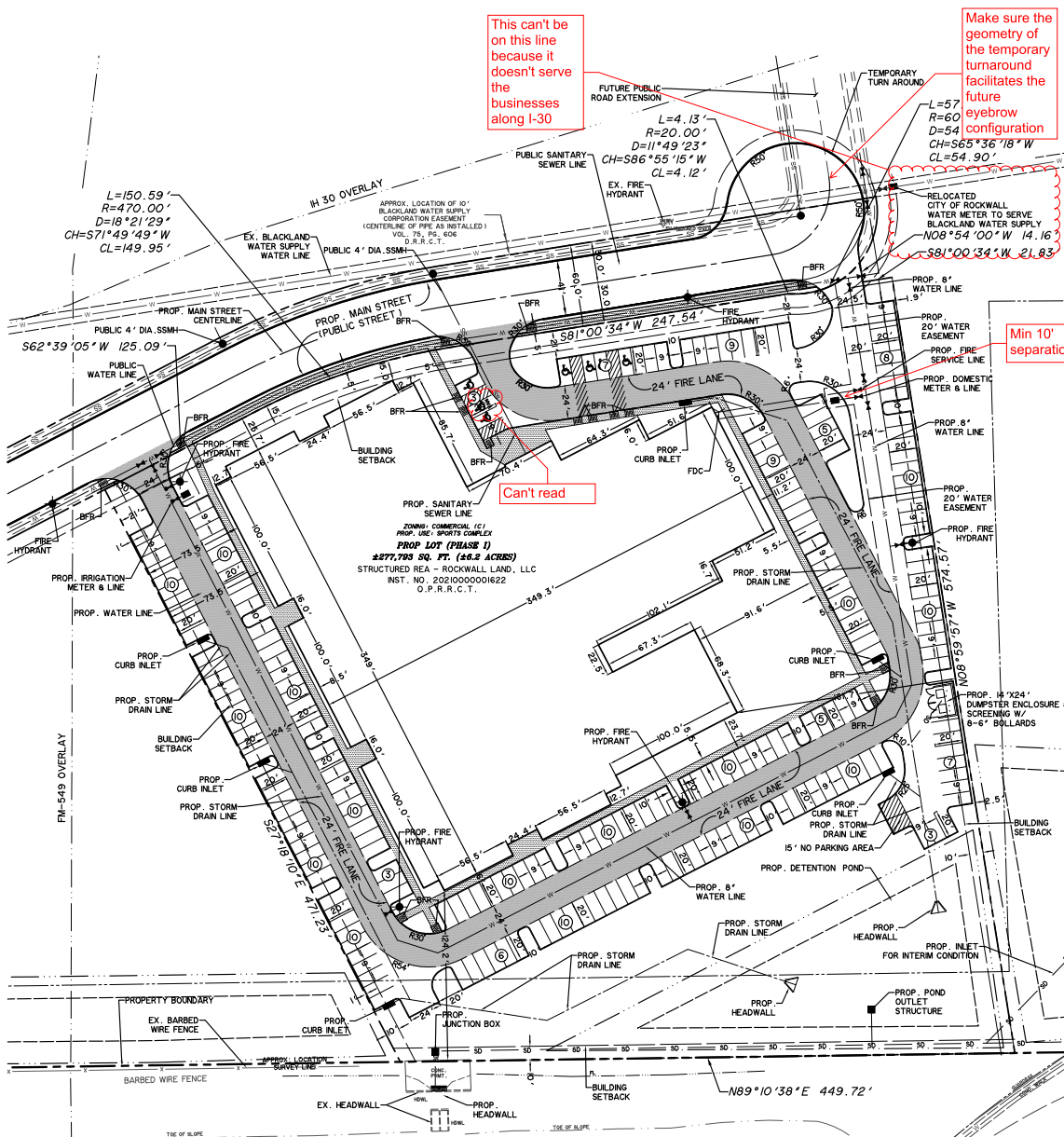
M.15 Please provide one (1) hard copy and a PDF/electronic version for review by staff.

I.16 The Architectural Review Board (ARB) meeting will be held on April 27, 2021 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.17 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 27, 2021.
- 2) Architectural Review Board (ARB) meeting will be held on April 27, 2021.
- 3) Planning & Zoning regular meeting will be held on May 11, 2021.
- 4) Architectural Review Board (ARB) meeting will be held on May 11, 2021 (if required).

I.18 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 5:00 p.m. (ARB) and 6:00 p.m. (P&Z). The City requires that a representative(s) be present for all meetings.



SITE DATA SUMMARY	
ZONING	COMMERCIAL (C)
TRACT INFO	EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL 20.49 ACRES ± (892,663 SQ FT ±) TRACT 2 STRUCTURED REA - ROCKWALL 31.44 ACRES ± (1,349,360 SQ FT ±)
PROP. LOT AREA	PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LOT PHASE I 6.38 ACRES ± (277,793 SQ. FT. ±)
PROP. USE ON PROP. LOT PHASE I	SPORTS COMPLEX
PROPOSED BUILDING AREA	67,155 SF ±
BUILDING COVERAGE	31.37%
BUILDING HEIGHT	1 STORY
MINIMUM REQUIRED PARKING	PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) PUBLIC RECREATION CLUB: 3/GAME COURT GYM: 1/200 SF (7,000 SF) MEDICAL OFFICE: 1/200 SF (10,500 SF)
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7
TOTAL PARKING PROVIDED	TOTAL STANDARD (19'x20') 21 HANDICAP-ACCESSIBLE 22

NOTE:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADI WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
3. ALL PARKING AREAS AND FIRE LANES SHALL BE CONCRETE.

ON-SITE PAVEMENT SHALL BE:
PARKING: 5" CONCRETE PAVEMENT
FIRE LANE: 6" CONCRETE PAVEMENT
DUMPSTER: 7" CONCRETE PAVEMENT

4. BUILDING IS PARALLEL & PERPENDICULAR TO WEST LINE.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
6. ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN, AS SHOWN ON THESE PLANS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, TEXAS, ON THIS _____ DAY OF _____, 2021.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR _____

General Items:
I - Must meet City Standards of Design and Construction
I - 4% Engineering Inspection Fees
I - Impact Fees (Water, Wastewater & Roadway)
I - Minimum easement width is 20' for new easements. No structures allowed in easements.
I - Retaining walls 3' and over must be engineered.
I - All retaining walls 18" and over must be rock or stone face. No smooth concrete walls.
I - All power lines will be underground.
I - Must have NTMWD approval to cross the easements.

Drainage Items:
M - Detention is required. No walls allowed in drainage/detention easements.
I - Maximum slope is 4:1 (25%).
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I - Manning's C-value is per zoning type.
I - Show and label dumpster areas to drain to oil/water separator and then to the storm lines.
I - No grate inlets allowed.
I - Verify that this project is "allowed" to drain to existing detention

Water and Wastewater Items:
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I - Minimum public sewer is 8". Full panel concrete replacement will be required for repairs.
I - Must loop a minimum 8" water line on site.
I - Must upslope the sewer line per the approved infrastructure study.
I - Sewer pro-rata of \$2773.07/acre.
M - Dumpster Enclosure to have a drain to a Oil/water separator. To drain to storm system.

Roadway Paving Items:
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I - Traffic Impact Analysis is required for the roadways.
I - TxDOT permits required.
I - Existing street pavement cuts shall be full panel replacement.
I - Public streets to meet city driveway spacing requirements.
I - Must dedicate ROW for Data Dr to connect to IH30 per the Master Thoroughfare Plan. (60' ROW, 41B-B paving)
M - Show paving connection to Corporate Crossing
M - Show installation of the left turn lane on Corporate Crossing

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ROBE

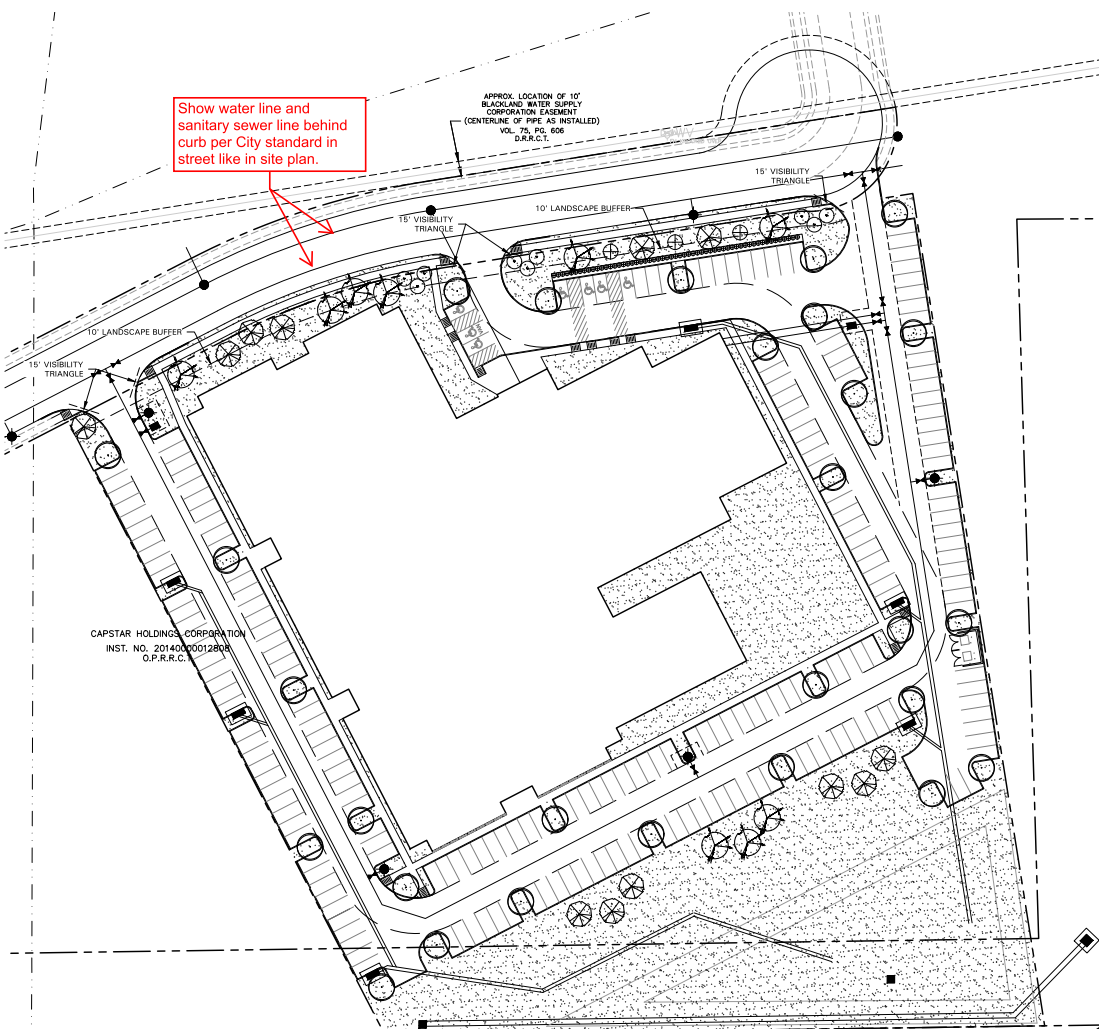
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I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
I - No mulch allowed in positive drainage areas that may migrate into storm system or ROW.
I - No trees or landscaping in NTMWD easement.

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW NOT FOR CONSTRUCTION. PURPOSES OF PERMIT ONLY. Prepared By or Under Direct Supervision of Randy Eardley, P.E. Texas Registration No. 104897 On Date Shown Below



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMOUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDED AT TOP AND BOTTOM OF SLORES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOOLS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMOUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- Two (2) 10' foot-wide landscape buffer with one tree canopy and one accent tree per fifty (50) ft.

STREET A: 585 f.t.

Required	Provided
(12) canopy trees, 4" cal.	(12) canopy trees, 4" cal.
(12) accent trees, 4" min. ht.	(12) accent trees, 4" min. ht.

PARKING LOT LANDSCAPING

- Five (5%) percent of the interior parking lot shall be landscape.
- One (1) canopy tree per 10 parking spaces

Total interior parking lot area:	41,433 s.f.
Total parking spaces:	225 spaces

Required	Provided
2,072 s.f. (5%)	7,238 s.f. (17%)
(23) canopy trees	(28) canopy trees

SITE LANDSCAPING

- Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.
- Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site:	5.23 AC; 227,793 s.f.
Required	Provided
34,169 s.f. (15%)	95,456 s.f. (42%)
17,084 s.f. (50%)	33,262 s.f.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
CM	<i>Lagerstroemia indica 'Natchez'</i>	Cree Myrtle 'Natchez'	9	30 gal.	container grown, 3-5 trunk, no cross canes, 8" ht., 4" spread, matching
CO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	9	4" cal.	container grown, 15' ht., 5" spread, 5' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	28	4" cal.	container grown, 15' ht., 5" spread, 5' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	12	4" cal.	container grown, 15' ht., 5" spread, 5' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	3	30 gal.	container grown, 8' ht., 4" spread, 3" trunk min.
TS	SHRUBS/GROUND COVER <i>Leucophyllum frutescens 'Green Cloud'</i> <i>Cynodon dactylon</i>	Texas Sage 'Green Cloud' Common Bermudagrass	57	5 gal.	container full, 20" spread, 24" o.c. solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



4245 North Central Exp
Suite 501
Dallas, Texas 75205
214.865.7192



FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

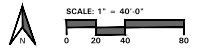
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No. Date Detail

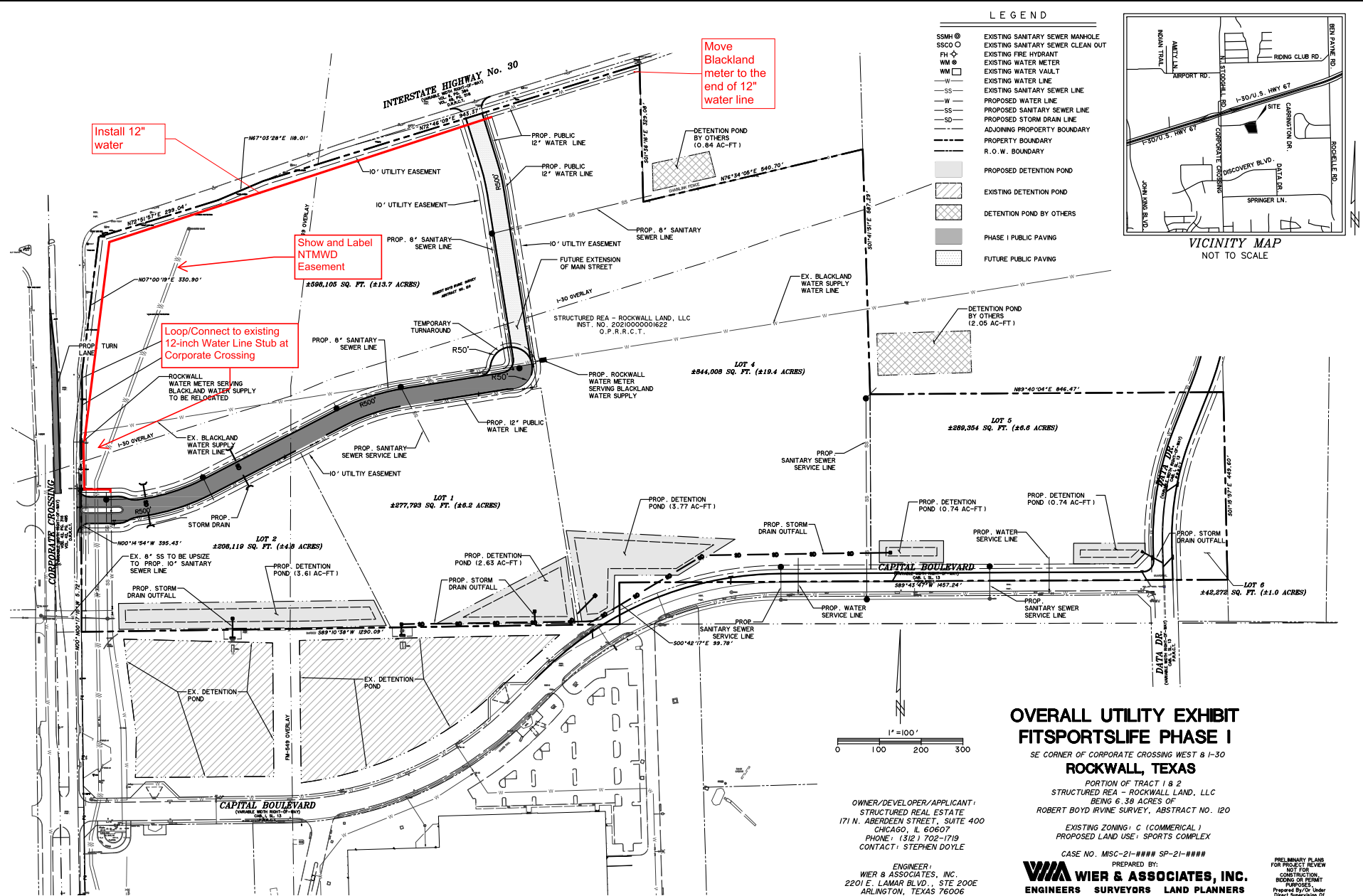
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LANDSCAPE PLAN

Sheet Number:

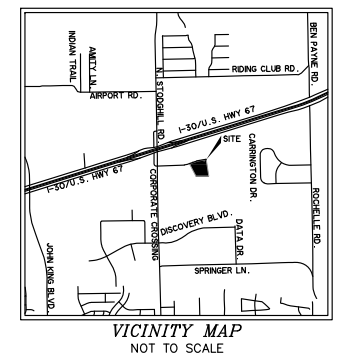
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LEGEND

SSMH @	EXISTING SANITARY SEWER MANHOLE
SSCO O	EXISTING SANITARY SEWER CLEAN OUT
FH ◇	EXISTING FIRE HYDRANT
WM ⊕	EXISTING WATER METER
WM □	EXISTING WATER VAULT
—W—	EXISTING WATER LINE
—SS—	EXISTING SANITARY SEWER LINE
—W—	PROPOSED WATER LINE
—SS—	PROPOSED SANITARY SEWER LINE
—SD—	PROPOSED STORM DRAIN LINE
---	ADJOINING PROPERTY BOUNDARY
---	PROPERTY BOUNDARY
---	R.O.W. BOUNDARY
▒	PROPOSED DETENTION POND
▒	EXISTING DETENTION POND
▒	DETENTION POND BY OTHERS
▒	PHASE I PUBLIC PAVING
▒	FUTURE PUBLIC PAVING



**OVERALL UTILITY EXHIBIT
FITSPORTSLIFE PHASE I**
SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

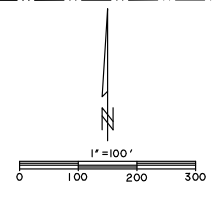
PORTION OF TRACT I & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120
EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW NOT FOR CONSTRUCTION, ISSUANCE OF PERMIT PURPOSES. Prepared By or Under Direct Supervision of Randy Eardley, P.E. Texas Registration No. 104857 On Date Shown Below





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION **Southeast corner of IH 30 and Corporate Crossing**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial C**

CURRENT USE **Vacant**

PROPOSED ZONING **N/A**

PROPOSED USE **Sports Complex**

ACREAGE **6.38**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Structured REA-Rockwall Land, LLC**

APPLICANT **Wier & Associates, Inc.**

CONTACT PERSON **Stephen Doyle**

CONTACT PERSON **Randall Eardley**

ADDRESS **171 N Aberdeen Street, Suite 400**

ADDRESS **2201 E. Lamar Blvd, Ste 200E**

CITY, STATE & ZIP **Chicago, Illinois 60607**

CITY, STATE & ZIP **Arlington, Texas 76006**

PHONE **847-951-8974**

PHONE **817-467-7700**

E-MAIL **SteveD@structuredrea.com**

E-MAIL **RandyE@WierAssociates.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen Doyle [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 377.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

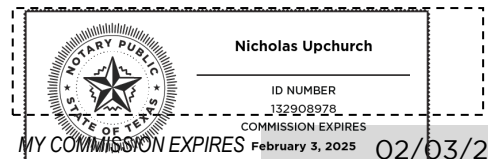
State of Texas, County of Hays
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 20 21

OWNER'S SIGNATURE

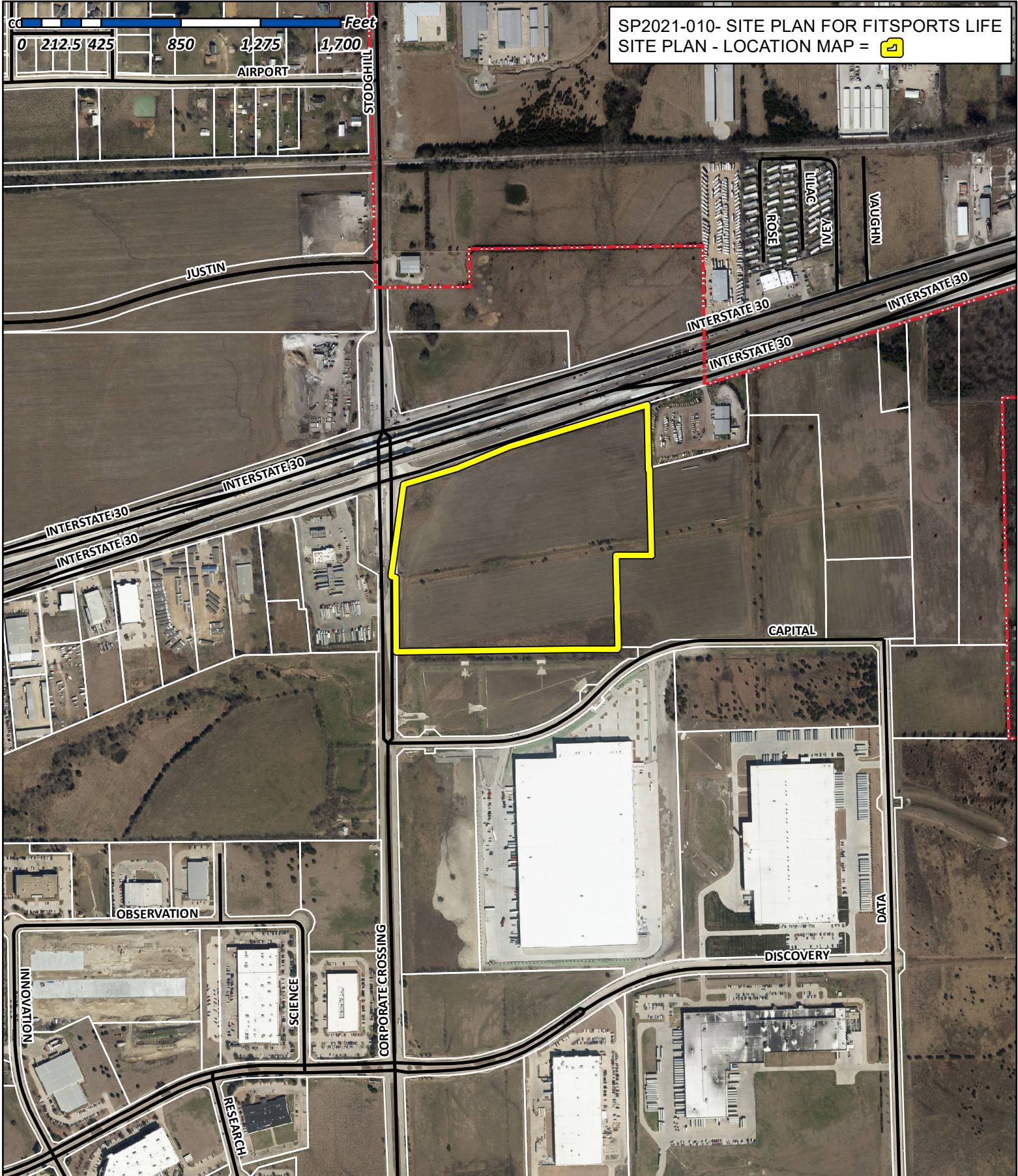
Stephen Doyle

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Nicholas Upchurch



MY COMMISSION EXPIRES February 3, 2025 02/03/2025



SP2021-010- SITE PLAN FOR FITSPORTS LIFE
 SITE PLAN - LOCATION MAP = [icon]



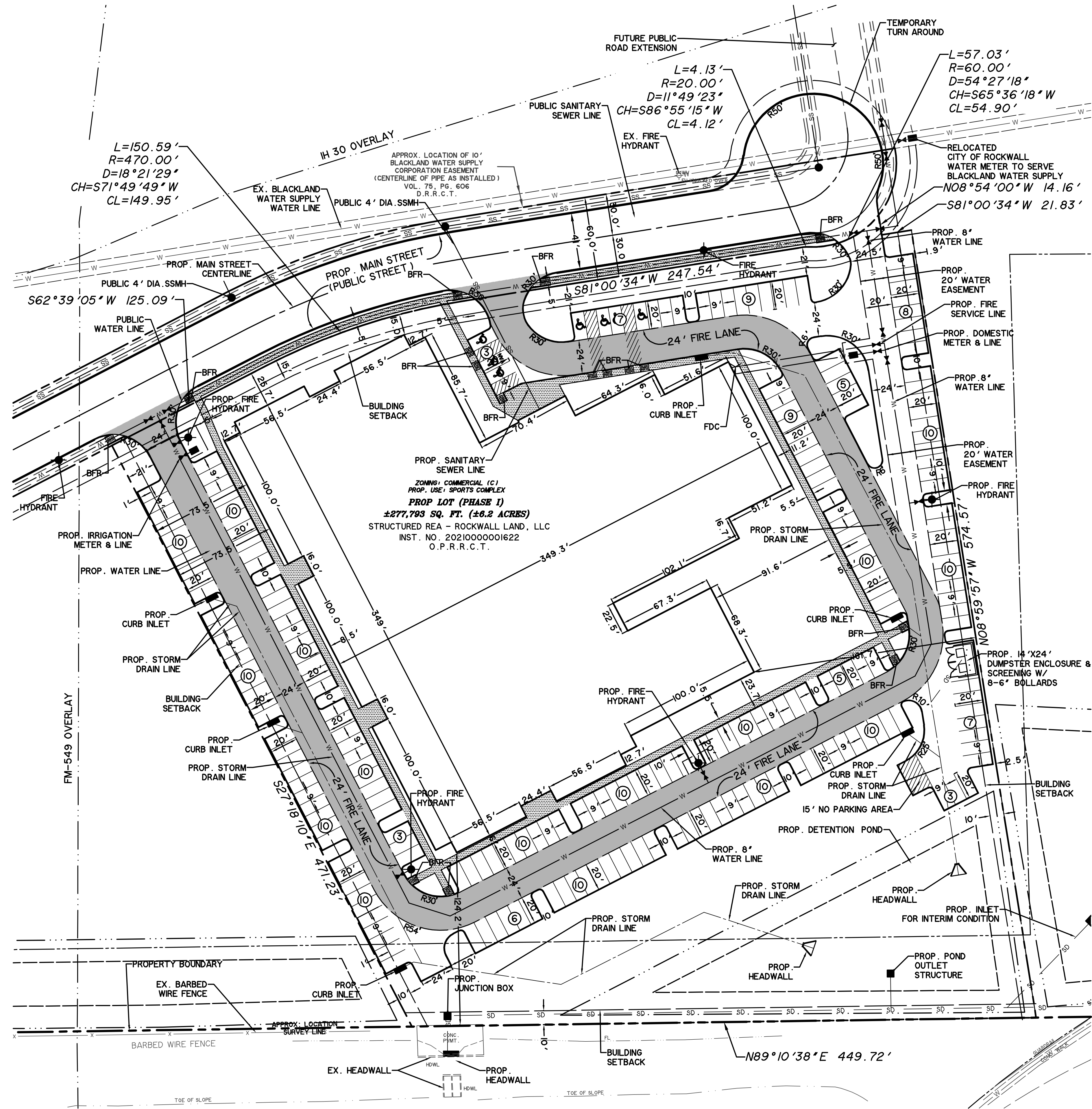
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PRINTED: 4/16/2021 10:30 AM WIER-PAVING STB LAST SAVED: 4/16/2021 10:30 AM FILE: RANDY.E. CITY SITE PLAN - 19144.DWG



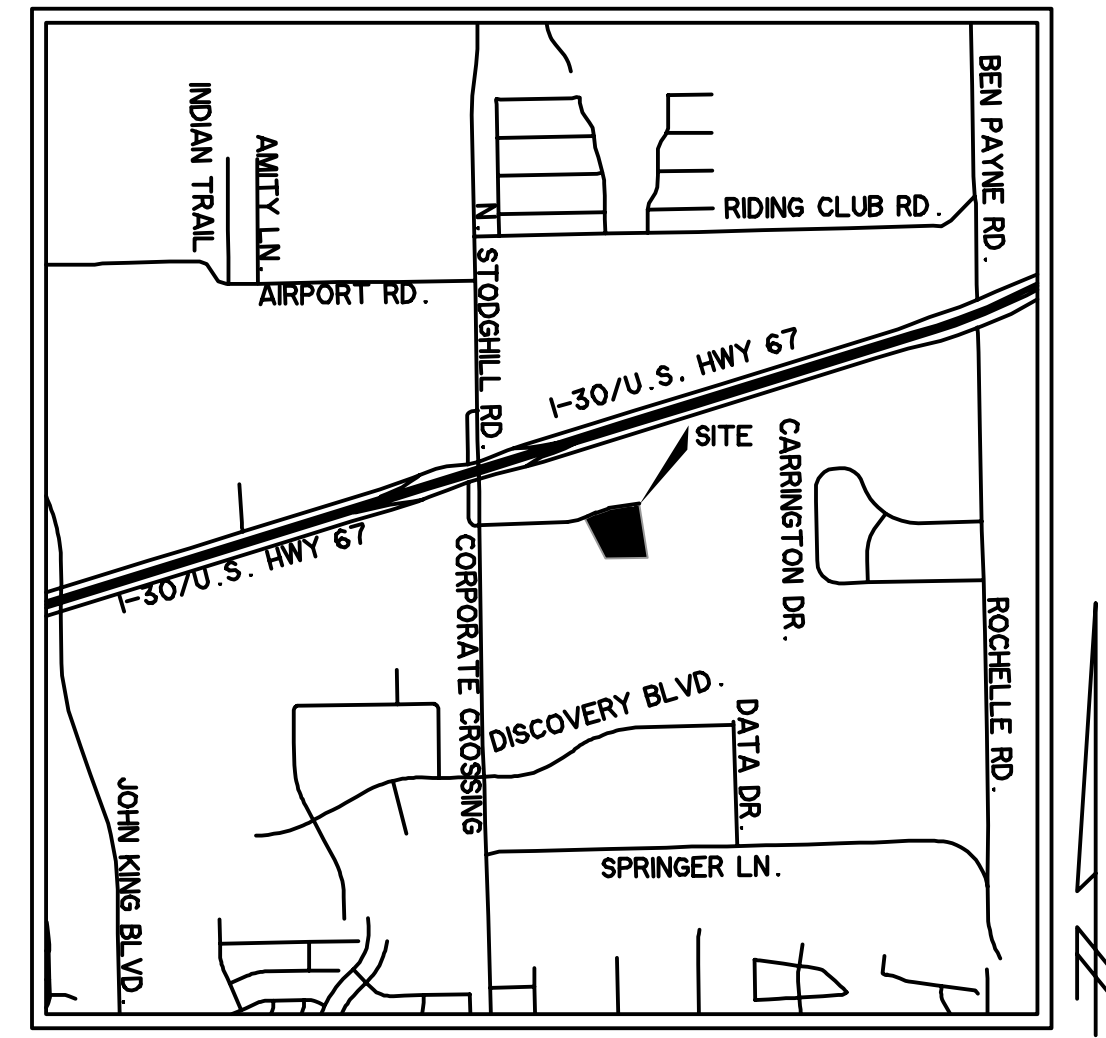
SITE DATA SUMMARY	
ZONING	COMMERCIAL (C)
TRACT INFO	EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,663 SQ FT ±) TRACT 2 STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ± (1,369,360 SQ FT ±)
PROP. LOT AREA	PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LAND, LLC LOT PHASE I: 6.38 ACRES ± (277,793 SQ. FT. ±)
PROP. USE ON PROP. LOT PHASE I	SPORTS COMPLEX
PROPOSED BUILDING AREA	87,155 SF±
BUILDING COVERAGE	31.37%
BUILDING HEIGHT	1 STORY
MINIMUM REQUIRED PARKING	PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) 56 PUBLIC RECREATION CLUB: 3/GAME COURT 42 GYM: 1/200 SF (7,000 SF) 35 MEDICAL OFFICE: 1/200 SF (10,900 SF) 54 187
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7
TOTAL PARKING PROVIDED	TOTAL STANDARD (9'x20') 218 HANDICAP-ACCESSIBLE 7 225

- NOTE:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
 - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.
- ONSITE PAVEMENT SHALL BE:
- PARKING: 5' CONCRETE PAVEMENT
FIRE LANE: 6' CONCRETE PAVEMENT
DUMPSTER: 7' CONCRETE PAVEMENT
- BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY LINE.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
 - ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



VICINITY MAP
NOT TO SCALE

LEGEND

SSMH ⊙	EXISTING SANITARY SEWER MANHOLE
SSCO ⊙	EXISTING SANITARY SEWER CLEAN OUT
FH ⊕	EXISTING FIRE HYDRANT
WM ⊕	EXISTING WATER METER
WM □	EXISTING WATER VAULT
—W—	EXISTING WATER LINE
—SS—	EXISTING SANITARY SEWER LINE
—W—	PROPOSED WATER LINE
—SS—	PROPOSED SANITARY SEWER LINE
—SD—	PROPOSED STORM DRAIN LINE
---	PHASE I PARCEL BOUNDARY
---	PROPERTY BOUNDARY
---	PROPOSED WATER EASEMENT
---	PROPOSED FIRE LANE
---	BUILDING SETBACK
BFR	BARRIER FREE RAMP
□	PROP. SIDEWALK
■	PROP. PUBLIC ACCESS & UTILITY EASEMENT

SITE PLAN FITSPORTSLIFE PHASE I

SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

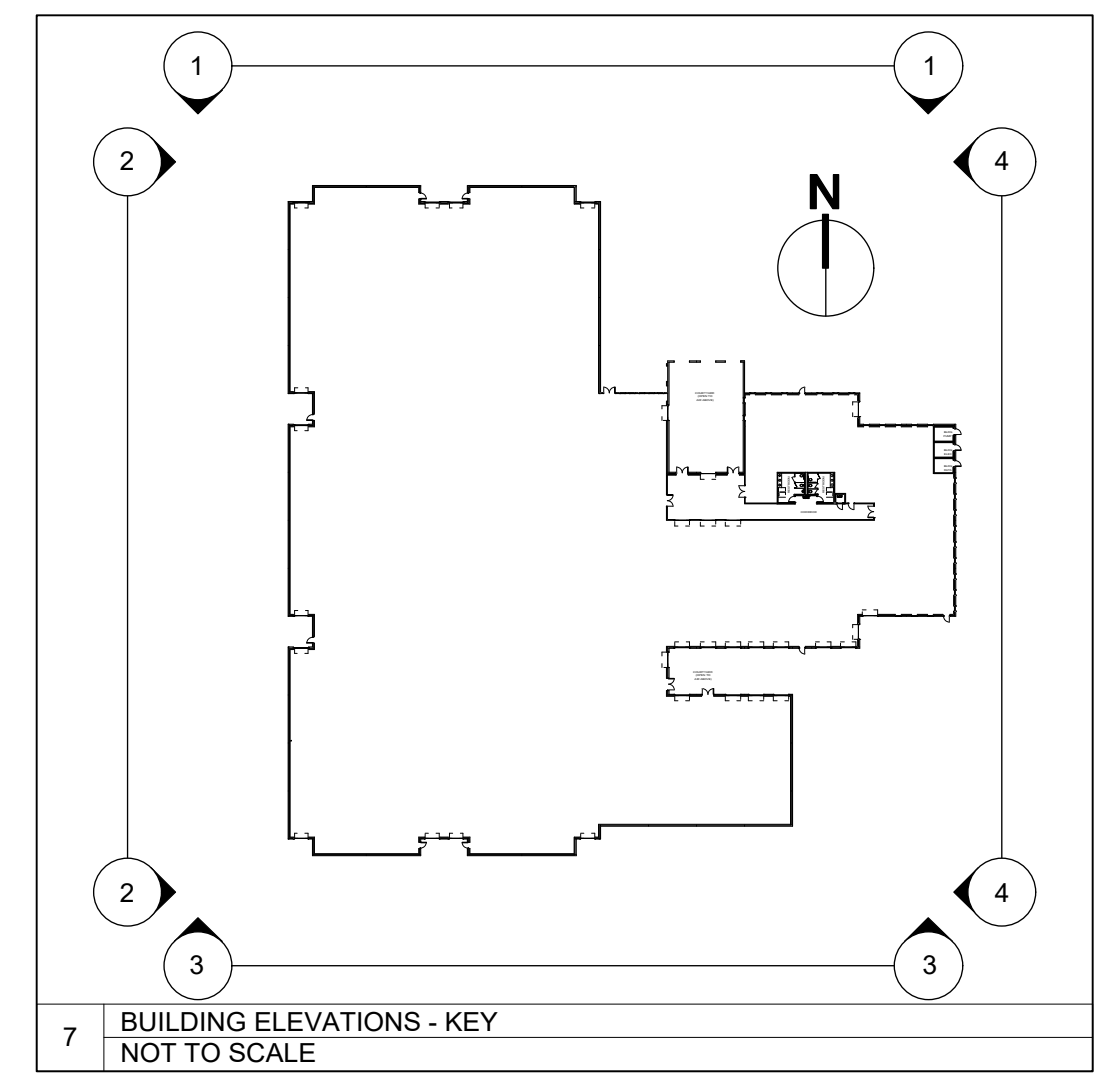
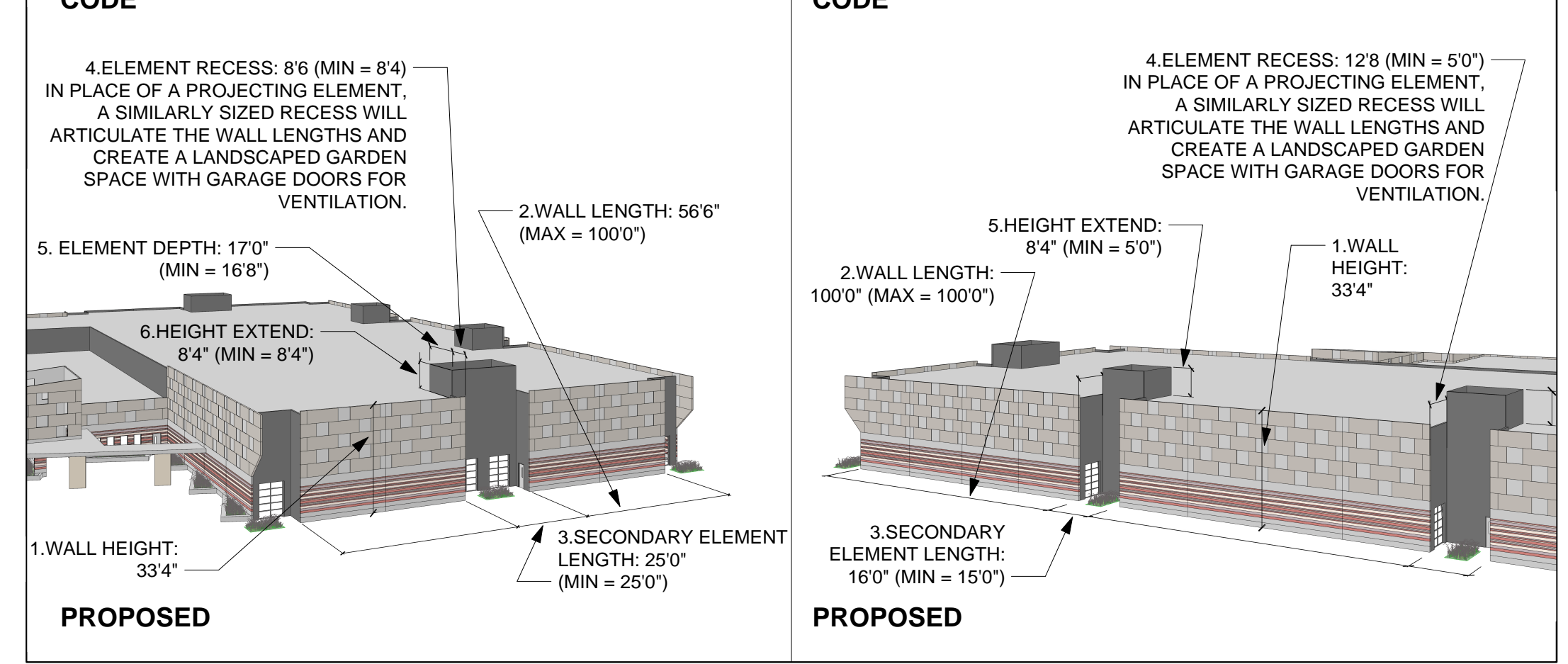
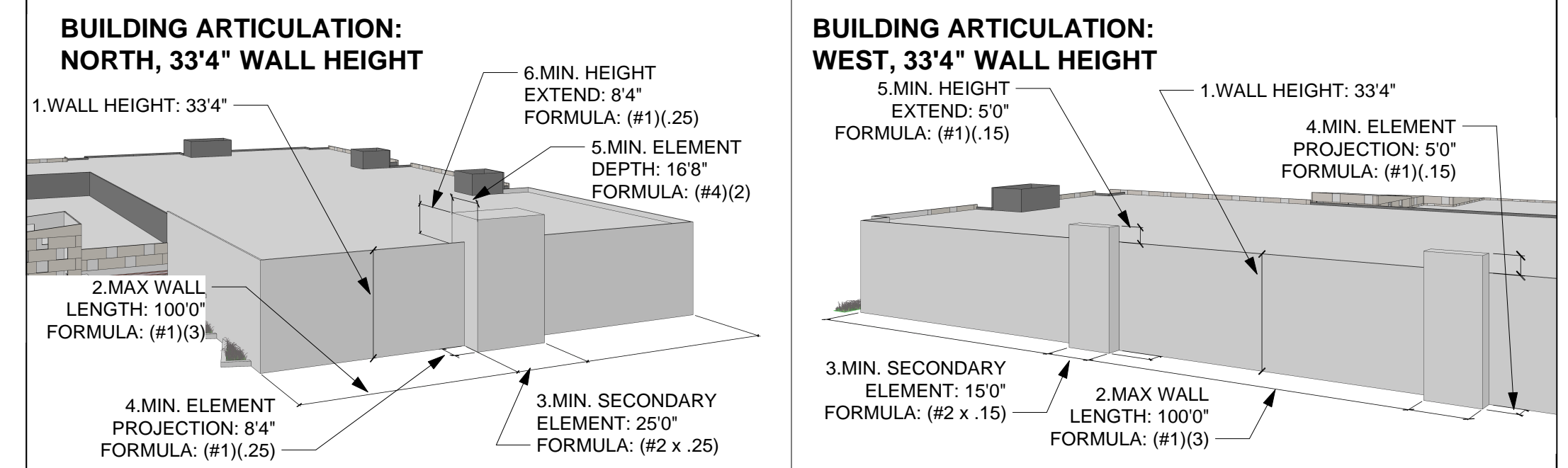
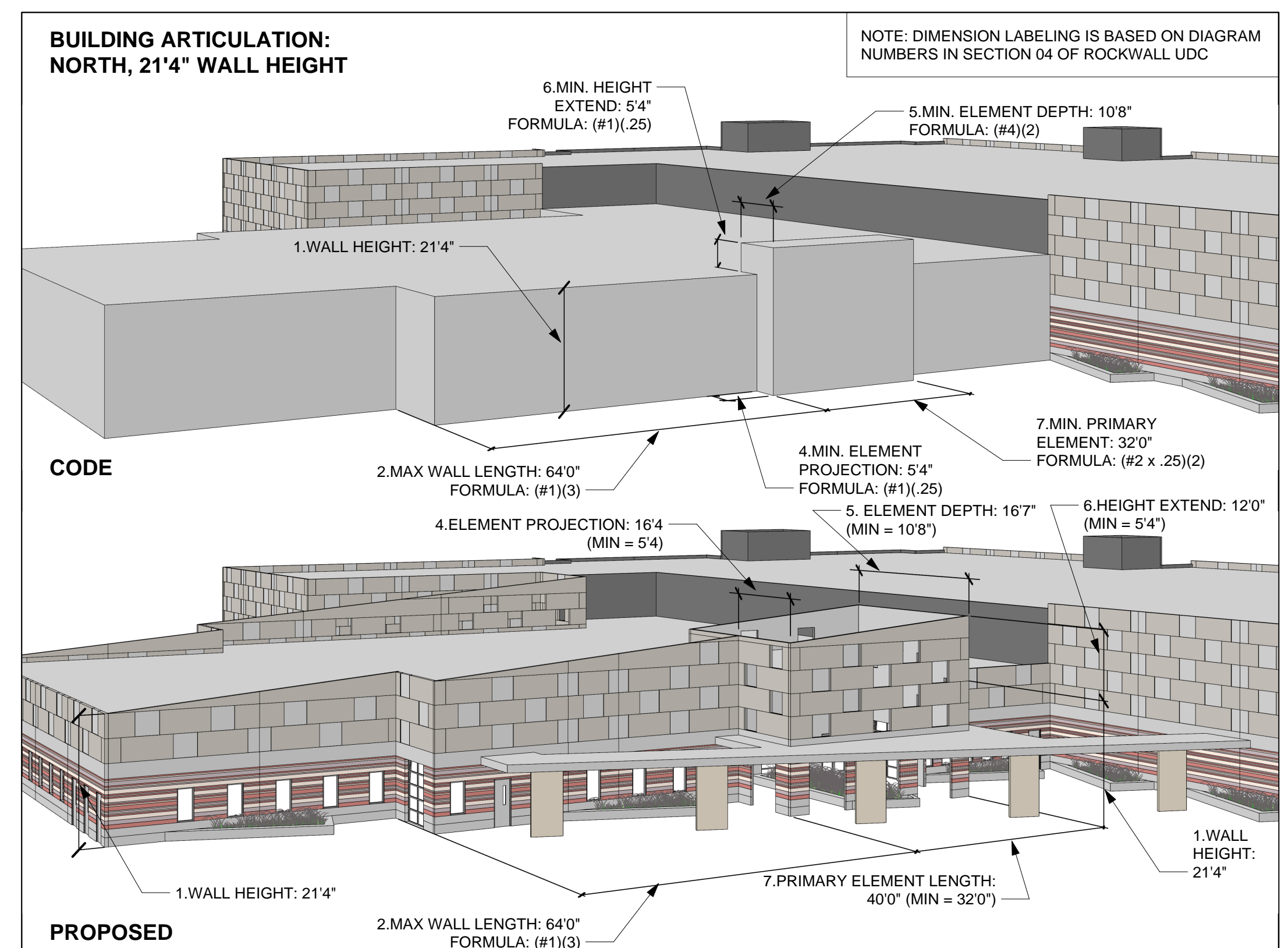
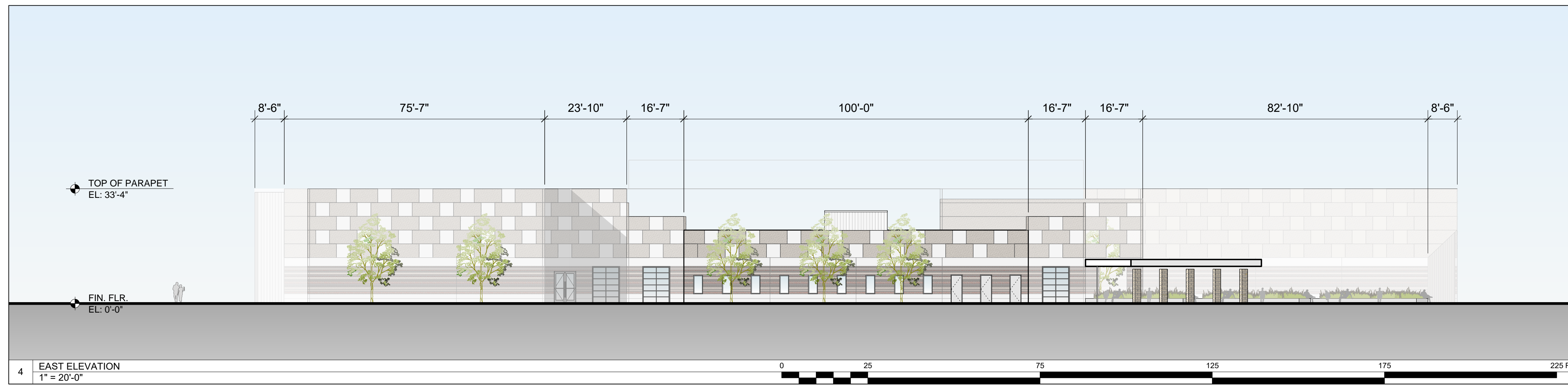
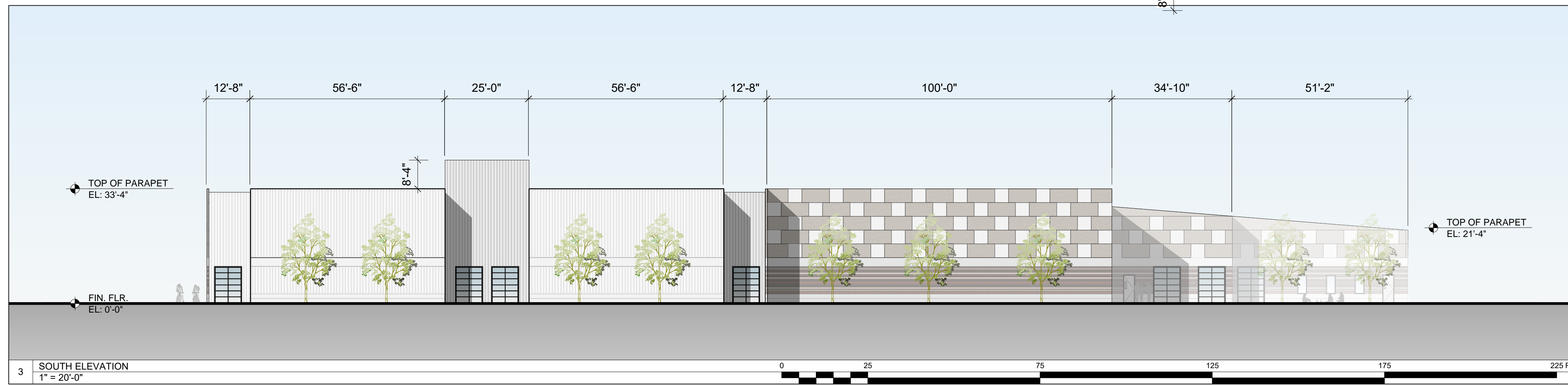
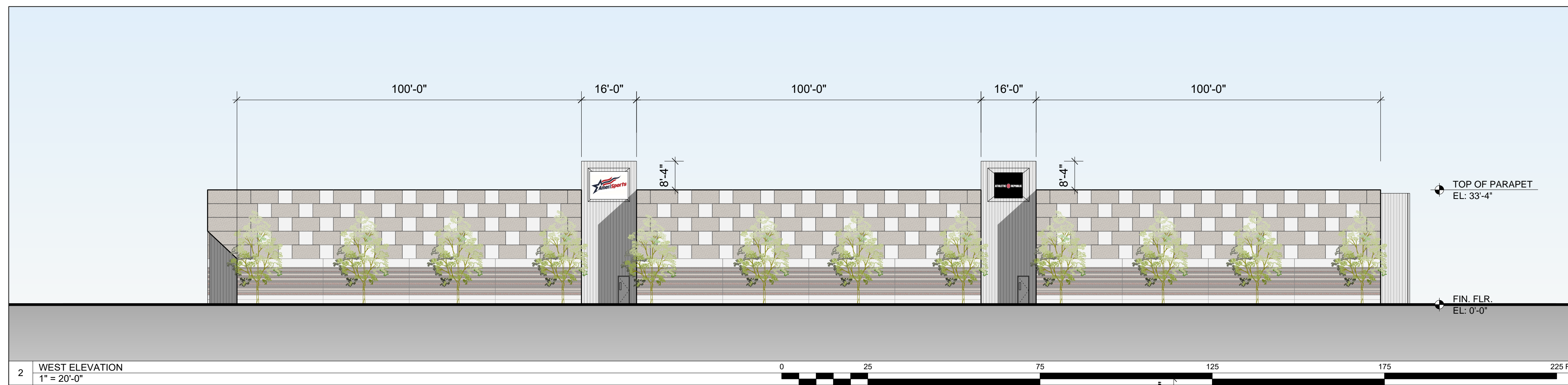
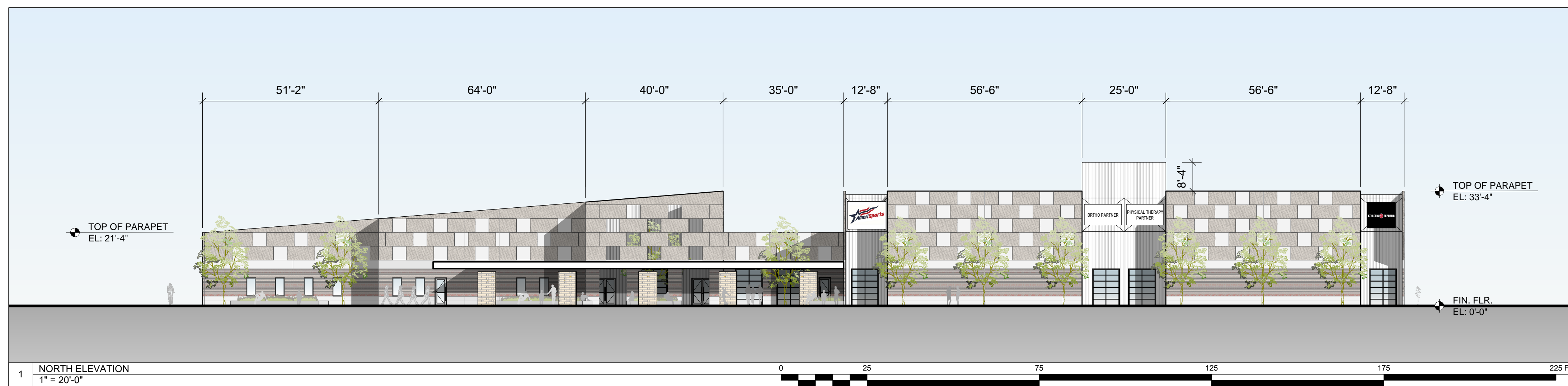
EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX
CASE NO. MISC-21-#### SP-21-####

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/Or Under
Direct Supervision Of
Randy Eardley, PE
Texas Registration
No. 104367 On
Date Shown Below.



WDS Structured
wefing design studio REAL ESTATE

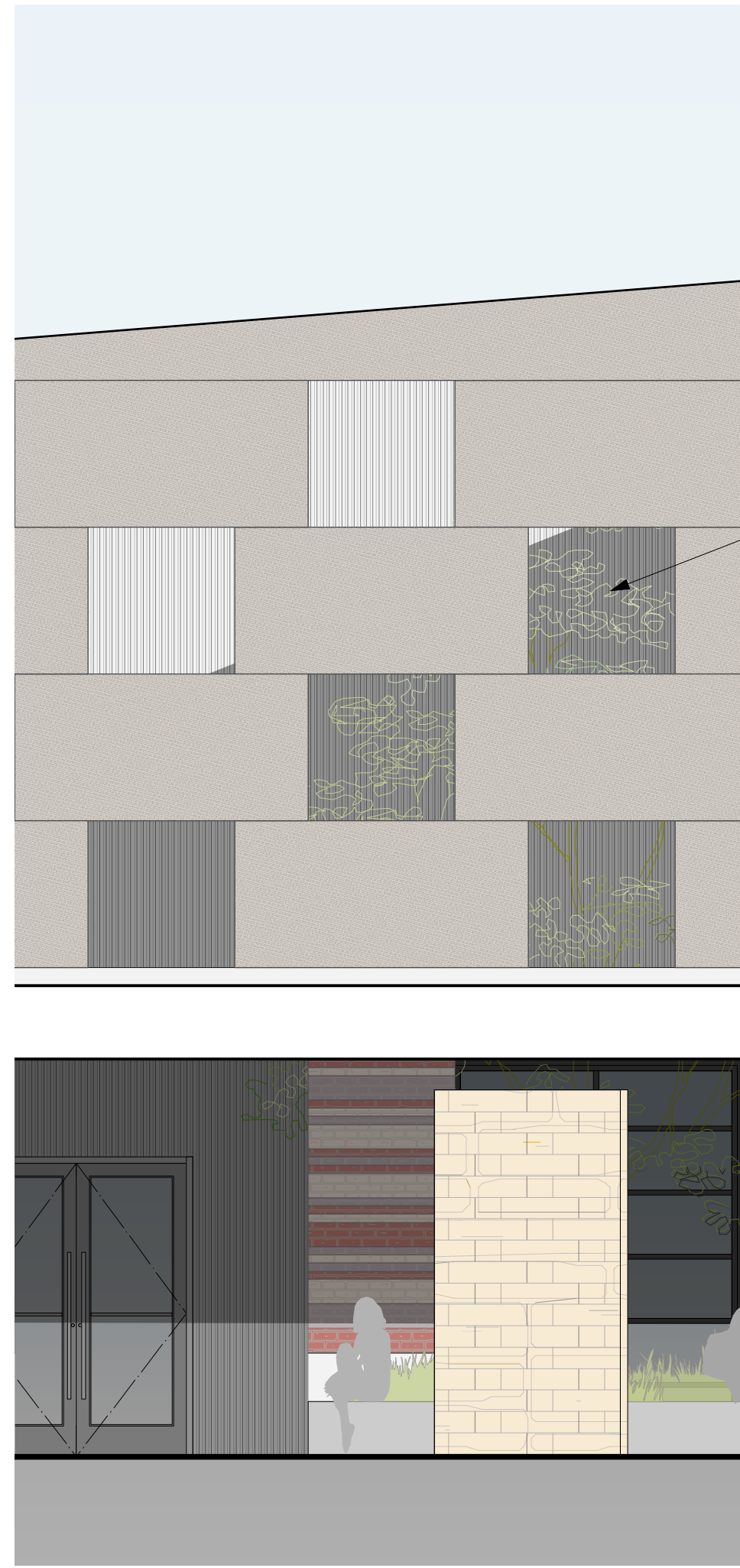
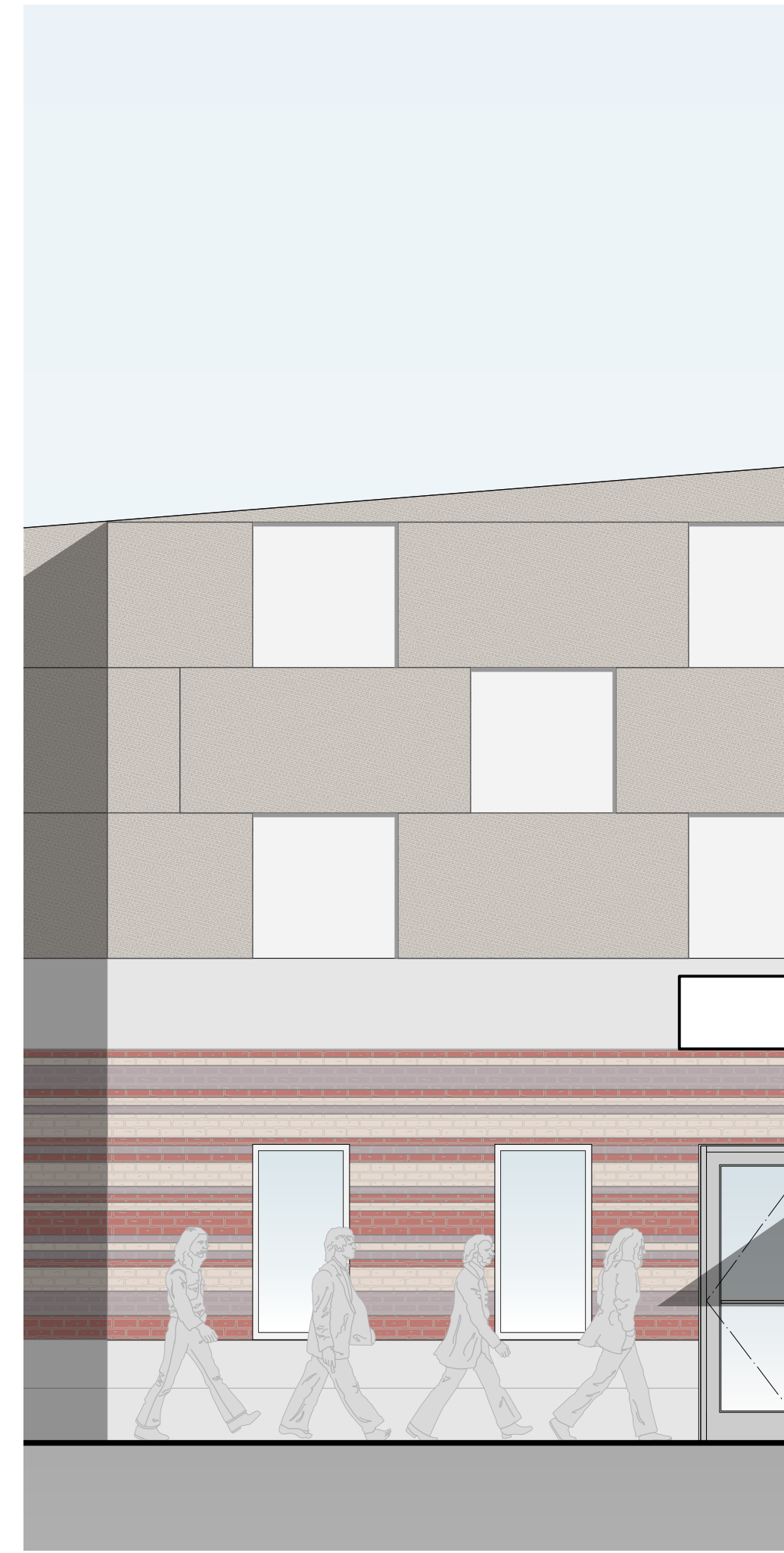
PROJECT: **FITSPORTLIFE ROCKWALL, TEXAS**
CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

SUBMISSION	
#	DATE
03/19/2021	SITE PLAN REVIEW

SITE PLAN REVIEW: NOT FOR CONSTRUCTION

DRAWING TITLE: **ELEVATIONS**

DRAWING NO.: **A-2.0**



- PERFORATED WALLS AT COURTYARD
- 6' x 10' SIGNAGE PER CODE
- SMOOTH CONCRETE FINISH
- TEXTURED CONCRETE FINISH
- FLUTED CONCRETE WALLS, PAINTED
- CONTINUOUS BRICK BAND
- TEXAS STONE
- PLANTINGS ADJACENT TO ALL ENTRANCES AND EGRESS FOR INTEGRATION OF NATURAL ELEMENTS WITH INSIDE ENVIRONMENT

PLANTINGS AT ALL ENTRANCES



SMOOTH CONCRETE

TEXTURED CONCRETE

TEXAS STONE

LANDSCAPE BEHIND PERFORATED WALLS

FLUTED CONCRETE WALLS



CONTINUOUS 10' HIGH BRICK BAND

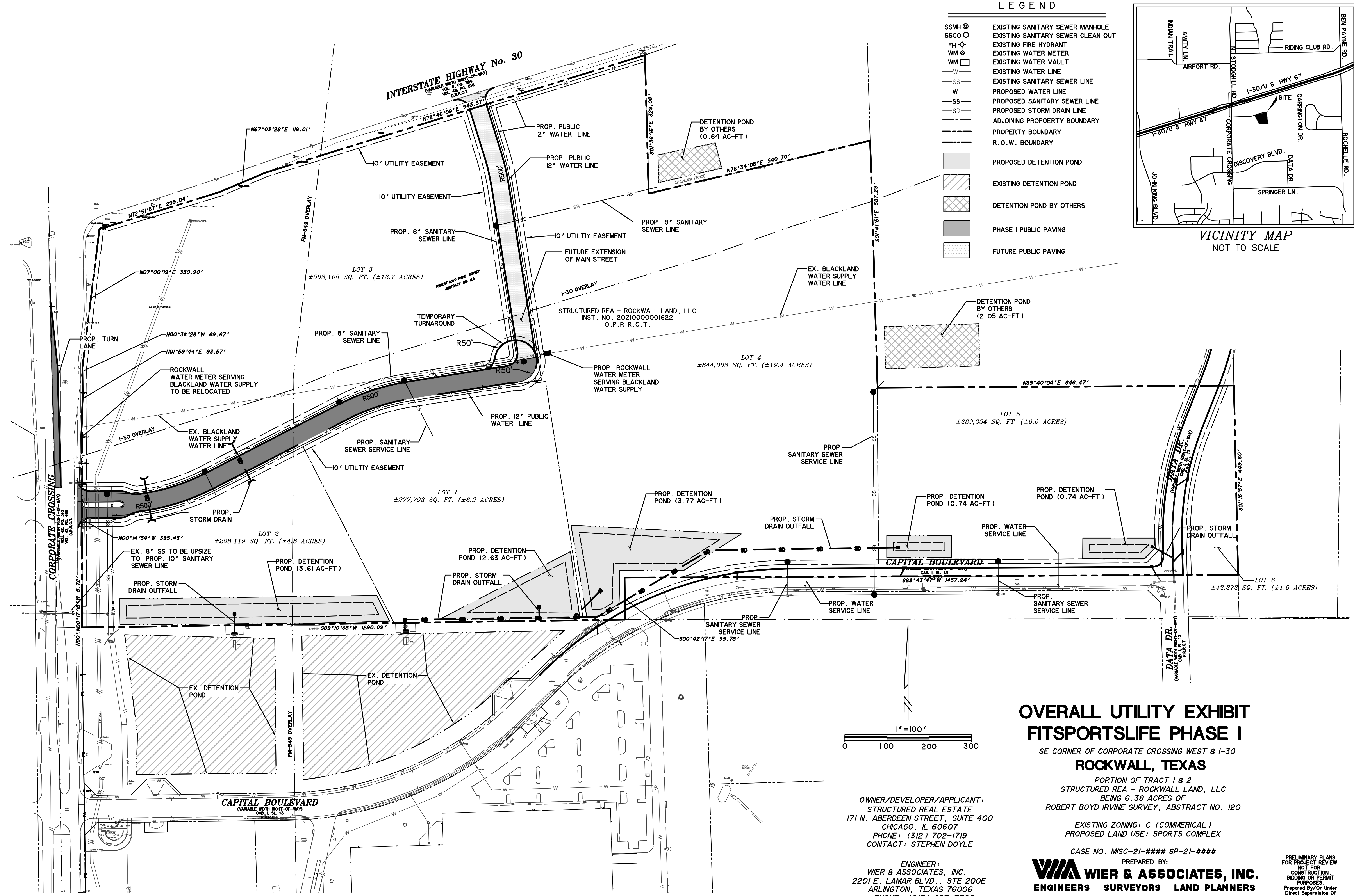
WDS *Structured*
wefing design studio REAL ESTATE

PROJECT **FITSPORTLIFE**
ROCKWALL, TEXAS
CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

SUBMISSION	
#	DATE
1	03/19/2021
	DESCRIPTION
	SITE PLAN REVIEW

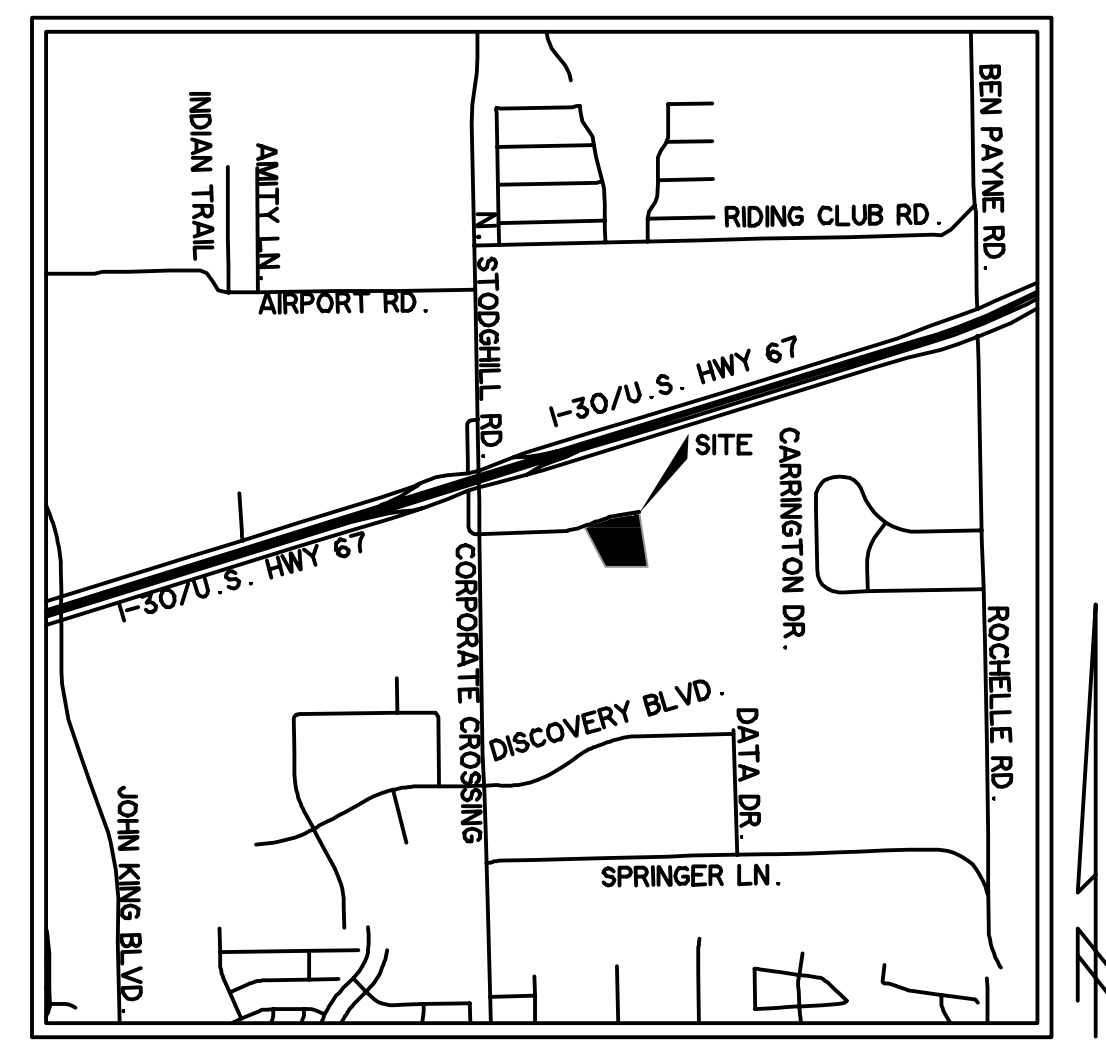
SITE PLAN REVIEW:
NOT FOR
CONSTRUCTION

DRAWING TITLE **MATERIALS BOARD** DRAWING NO. **A-2.1**

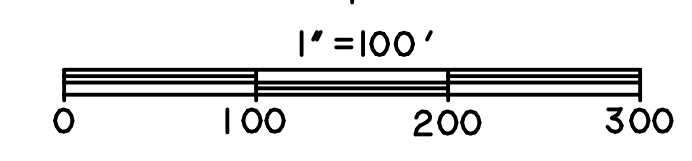


LEGEND

- SSMH ○ EXISTING SANITARY SEWER MANHOLE
- SSCO ○ EXISTING SANITARY SEWER CLEAN OUT
- FH ⊕ EXISTING FIRE HYDRANT
- WM ⊕ EXISTING WATER METER
- WM □ EXISTING WATER VAULT
- W — EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER LINE
- W — PROPOSED WATER LINE
- SS — PROPOSED SANITARY SEWER LINE
- SD — PROPOSED STORM DRAIN LINE
- - - ADJOINING PROPERTY BOUNDARY
- - - PROPERTY BOUNDARY
- - - R.O.W. BOUNDARY
- PROPOSED DETENTION POND
- ▨ EXISTING DETENTION POND
- ▩ DETENTION POND BY OTHERS
- PHASE I PUBLIC PAVING
- FUTURE PUBLIC PAVING



VICINITY MAP NOT TO SCALE



**OVERALL UTILITY EXHIBIT
FITSPORTSLIFE PHASE I**

SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

CASE NO. MSC-21-#### SP-21-####

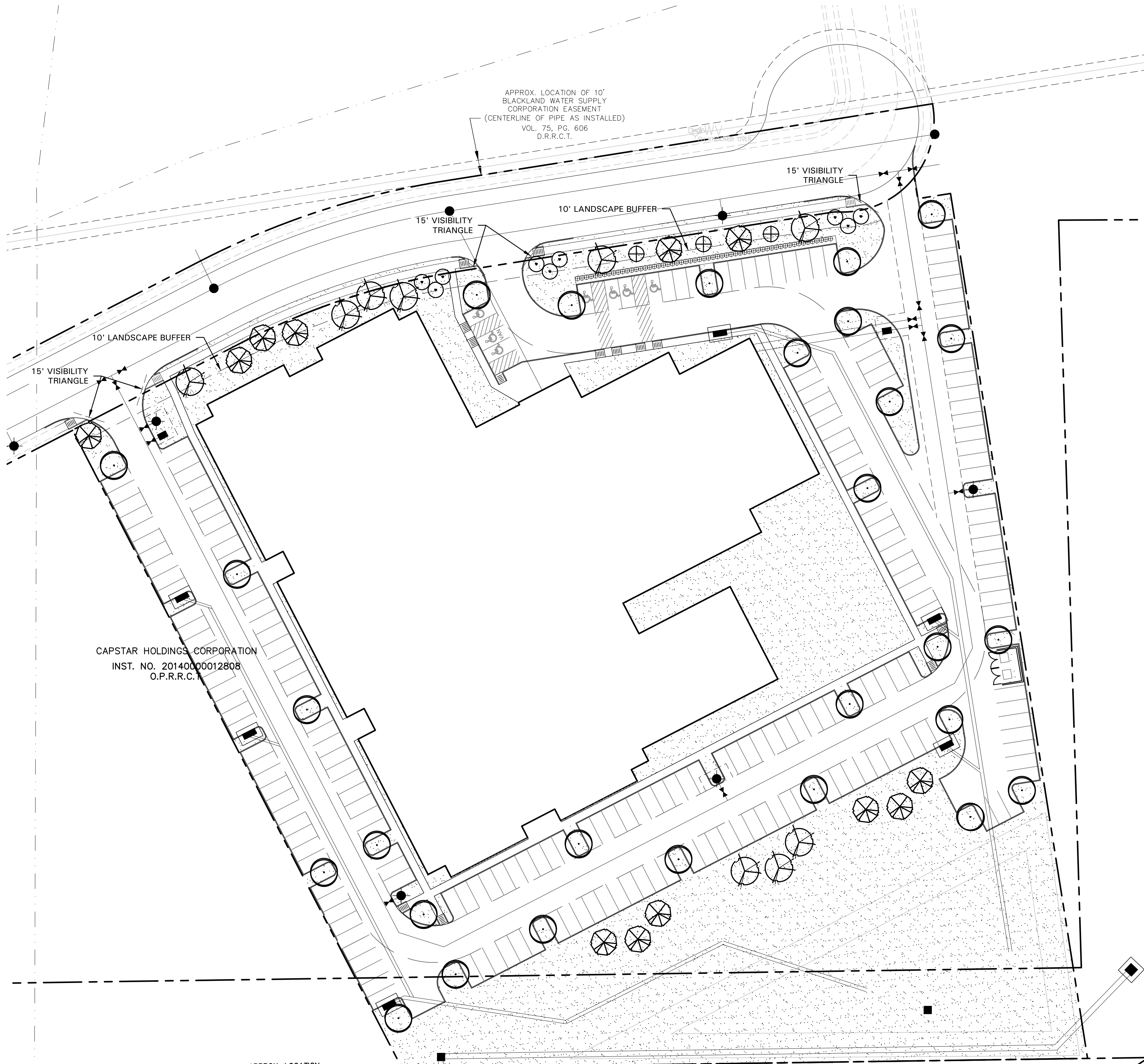
OWNER/DEVELOPER/APPLICANT:
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RandyE@WierAssociates.com

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.
Prepared By/Or Under
Direct Supervision Of
Randy Eardley, PE
Texas Registration
No. 104567 On
Date Shown Below.



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE: MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES
 1. NO TREES WITHIN 5'-0" OF ANY UTILITIES
 2. IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS
 THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- Ten (10') foot-wide landscape buffer with one tree canopy and one accent tree per fifty (50) l.f.

STREET A: 585 l.f.

Required	Provided
(12) canopy trees, 4" cal.	(12) canopy trees, 4" cal.
(12) accent trees, 4' min. ht.	(12) accent trees, 4' min. ht.

PARKING LOT LANDSCAPING

- Five (5%) percent of the interior parking lot shall be landscape.
- One (1) canopy tree per 10 parking spaces

Total interior parking lot area: 41,433 s.f.
 Total parking spaces: 225 spaces

Required	Provided
2,072 s.f. (5%)	7,238 s.f. (17%)
(23) canopy trees	(28) canopy trees

SITE LANDSCAPING

- Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.
- Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 5.23 AC; 227,793 s.f.

Required	Provided
34,169 s.f. (15%)	95,456 s.f. (42%)
17,084 s.f. (50%)	33,262 s.f.

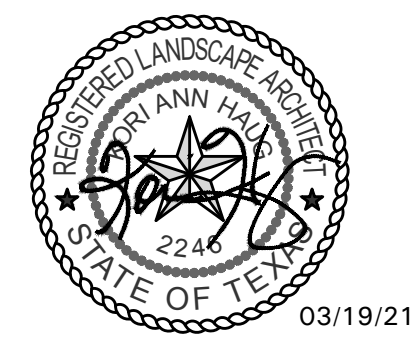
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica 'Natchez'</i>	Crape Myrtle 'Natchez'	9	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muehlenbergii</i>	Chinkapin Oak	9	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	28	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	12	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	3	30 gal.	container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUNDCOVER					
TS	<i>Leucophyllum frutescens 'Green Cloud'</i>	Texas Sage 'Green Cloud'	57	5 gal.	container full, 20" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
 PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
 ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



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 Dallas, Texas 75205
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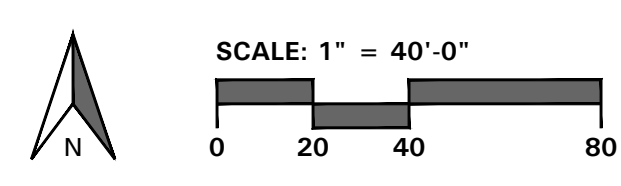


FitSportsLife
 Phase 1
 Rockwall, Texas

Project Number: 21030
 Issue Date: 03.19.2021
 Drawn By: DJD
 Checked By: KAH

Revisions
 No. Date: Detail:

CASE NO: MISC-21-#### SP-21-####
 ENGINEER:
 WIER & ASSOCIATES, INC.
 2201 E. LAMAR BLVD., STE 200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
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 OWNER/DEVELOPER/ APPLICANT:
 STRUCTURED REAL ESTATE
 171 N. ABERDEEN STREET, SUITE 400
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 CONTACT: STEPHEN DOYLE



Sheet Title:
LANDSCAPE PLAN
 Sheet Number:
L2.01



SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- 1. Planting (trees, shrubs and grasses)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
C. Texas Association of Nurserymen, Grades and Standards
D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as the minimum trunk diameter requirements of the plant. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
C. Selection of Plant Material:
1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
2. Substitutions: Do not make plant material substitutions, if the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
B. Delivery:
1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
6. Remove rejected plant material immediately from job site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
a. Clay - between 7-27 percent
b. Silt - between 15-25 percent
c. Sand - less than 52 percent
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
F. Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UP) with a minimum 8% sulfur and 4% iron, plus micronutrients.
H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.
2.3 MISCELLANEOUS MATERIALS
A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 18' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURADEDGE Heavy Duty Steel.
B. Staking Material for Shade Trees: refer to details.
C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
D. Filter Fabric: "Mirafii Mirascape" by Mirafii Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
B. All planting areas shall be conditioned as follows:
1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
C. Grass Areas:
1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
C. Position the trees and shrubs in their intended location as per plan.
D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.
G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

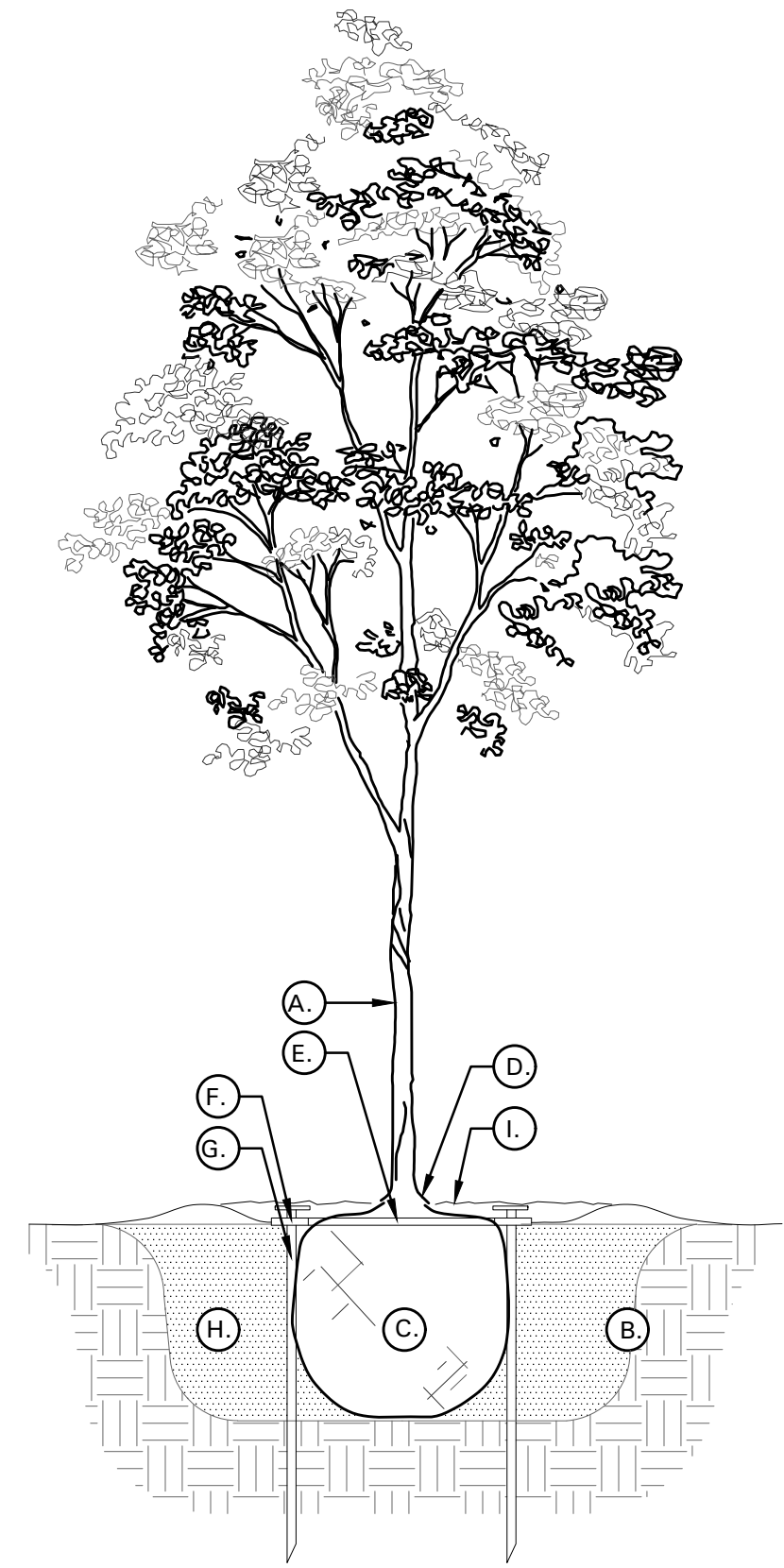
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
J. Do not wrap trees.
K. Do not over prune.
L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
2. Pruning shall be done with clean, sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

- Q. Steel Curbing Installation:
1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
2. All steel curbing shall be free of kinks and abrupt bends.
3. Top of curbing shall be 1/2" maximum height above final finished grade.
4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
5. Do not install steel edging along sidewalks or curbs.
6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

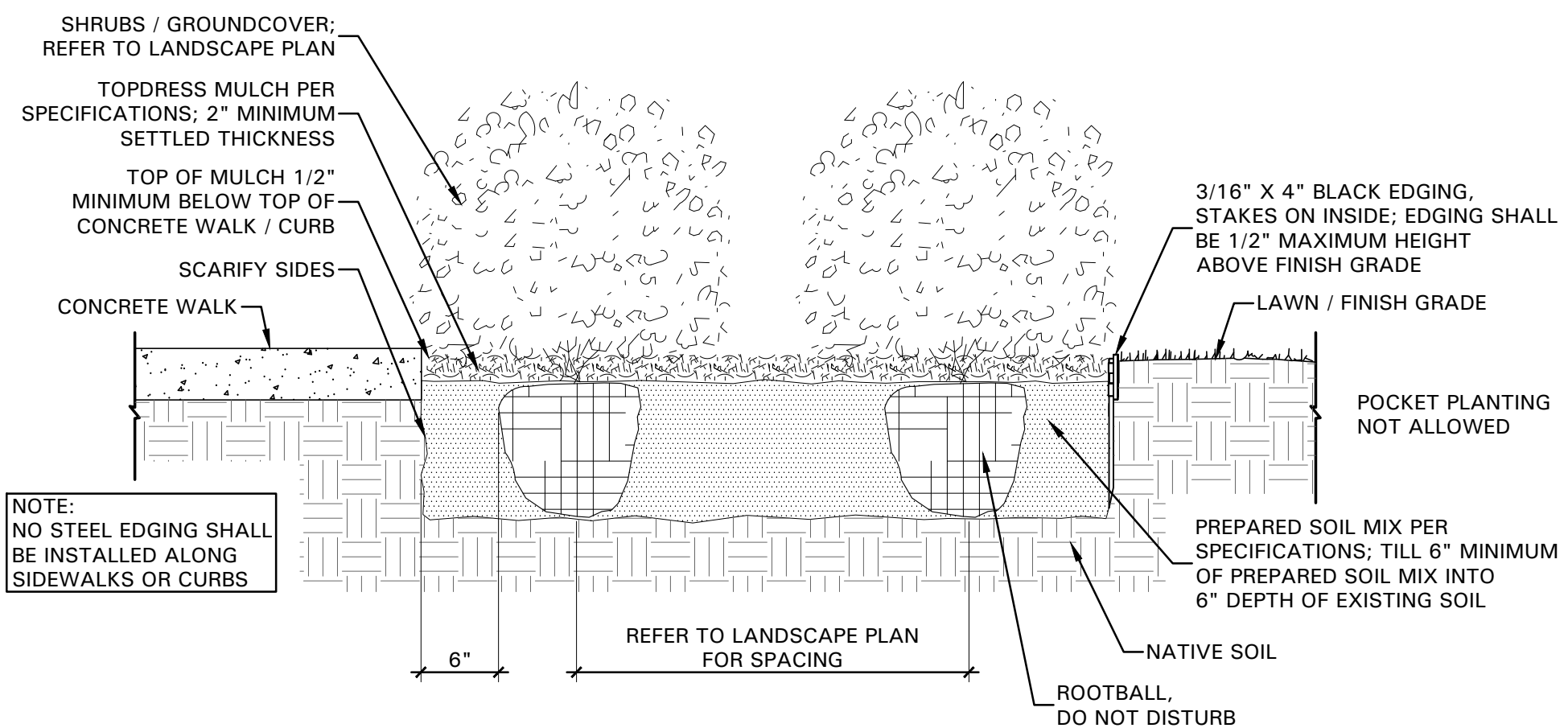
- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE RING.
F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
J. TREE STAKES: TREE STAKE SOLUTIONS "SAFETY STAKE" BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jst@treestakesolutions.com www.treestakesolutions.com OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



01 TREE PLANTING DETAIL NOT TO SCALE

02 SHRUB / GROUNDCOVER DETAIL NOT TO SCALE



4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office



FitSportsLife Phase 1 Rockwall, Texas

Project Number: 21030 Issue Date: 03.19.2021 Drawn By: DJD Checked By: KAH

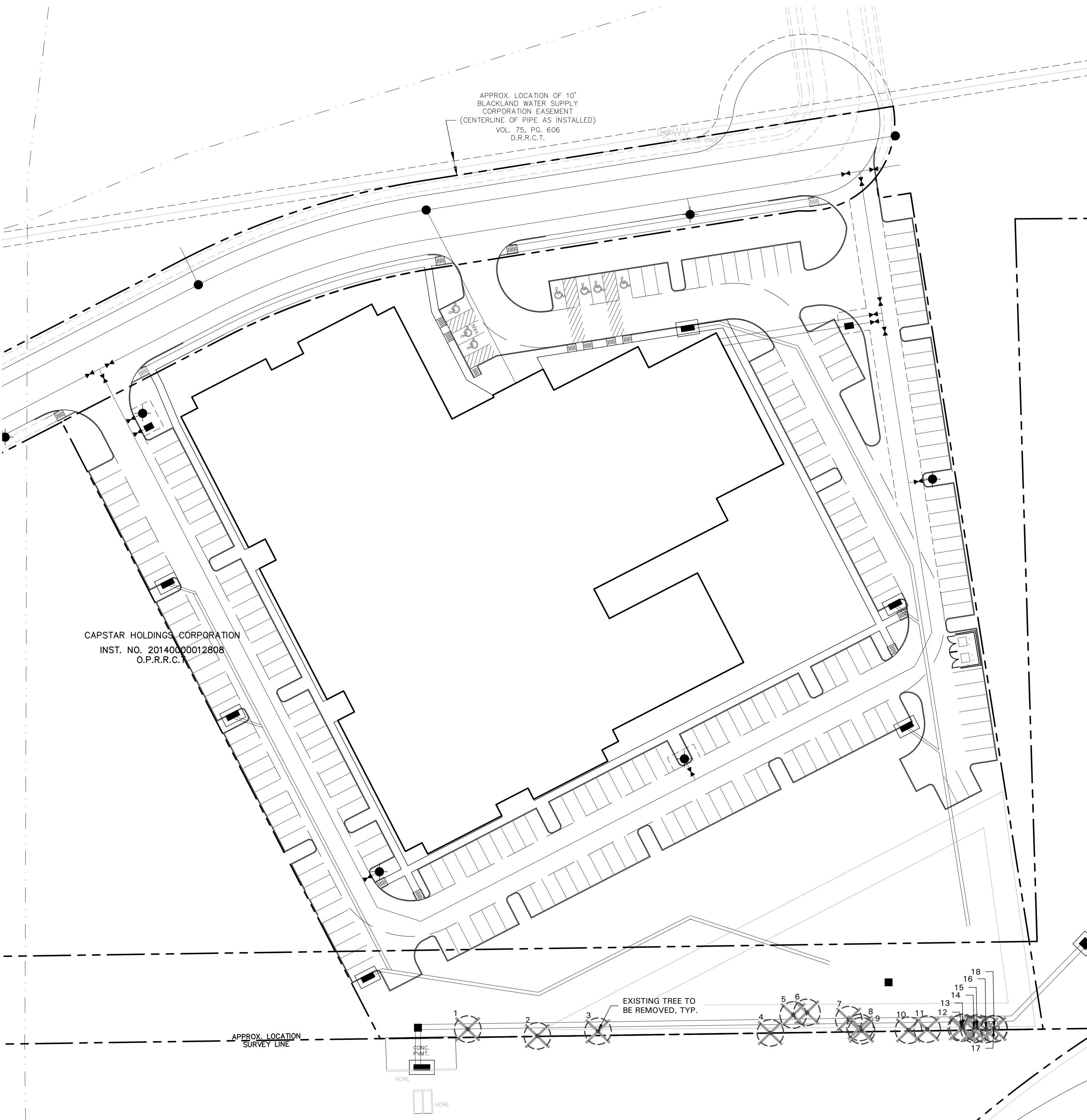
Revisions No: Date: Detail:

Sheet Title: LANDSCAPE SPECIFICATIONS AND NOTES

Sheet Number:

L2.02

CASE NO: MISC-21-#### SP-21-#### ENGINEER: WIER & ASSOCIATES, INC. 2201 E. LAMAR BLVD., STE 200E ARLINGTON, TX 76006 PHONE: (817) 467-7700 CONTACT: RANDY EARDLEY, P.E. OWNER/DEVELOPER/ APPLICANT: STRUCTURED REAL ESTATE 171 N. ABERDEEN STREET, SUITE 400 CHICAGO, IL 60607 PHONE: (312) 702-1719 CONTACT: STEPHEN DOYLE



TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
2	12	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
3	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
4	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
5	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
6	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
7	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
8	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
9	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
10	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
11	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
12	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
13	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
14	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
15	13	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
16	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
17	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
18	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
Total Caliper Inches on Site				163
Total Caliper Inches Removed				163
Total Mitigation Inches Required				31.5
Total Mitigation Inches Provided				32

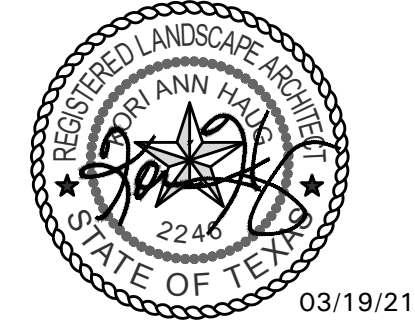
TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

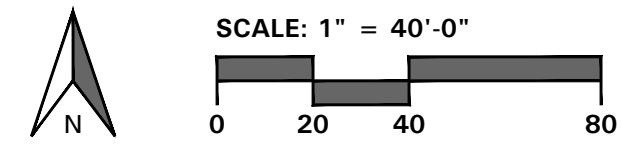


FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date: Detail:

CASE NO: MISC-21-#### SP-21-####
ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
OWNER/DEVELOPER/ APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE



Sheet Title:
TREE PRESERVATION PLAN
Sheet Number:
L1.01



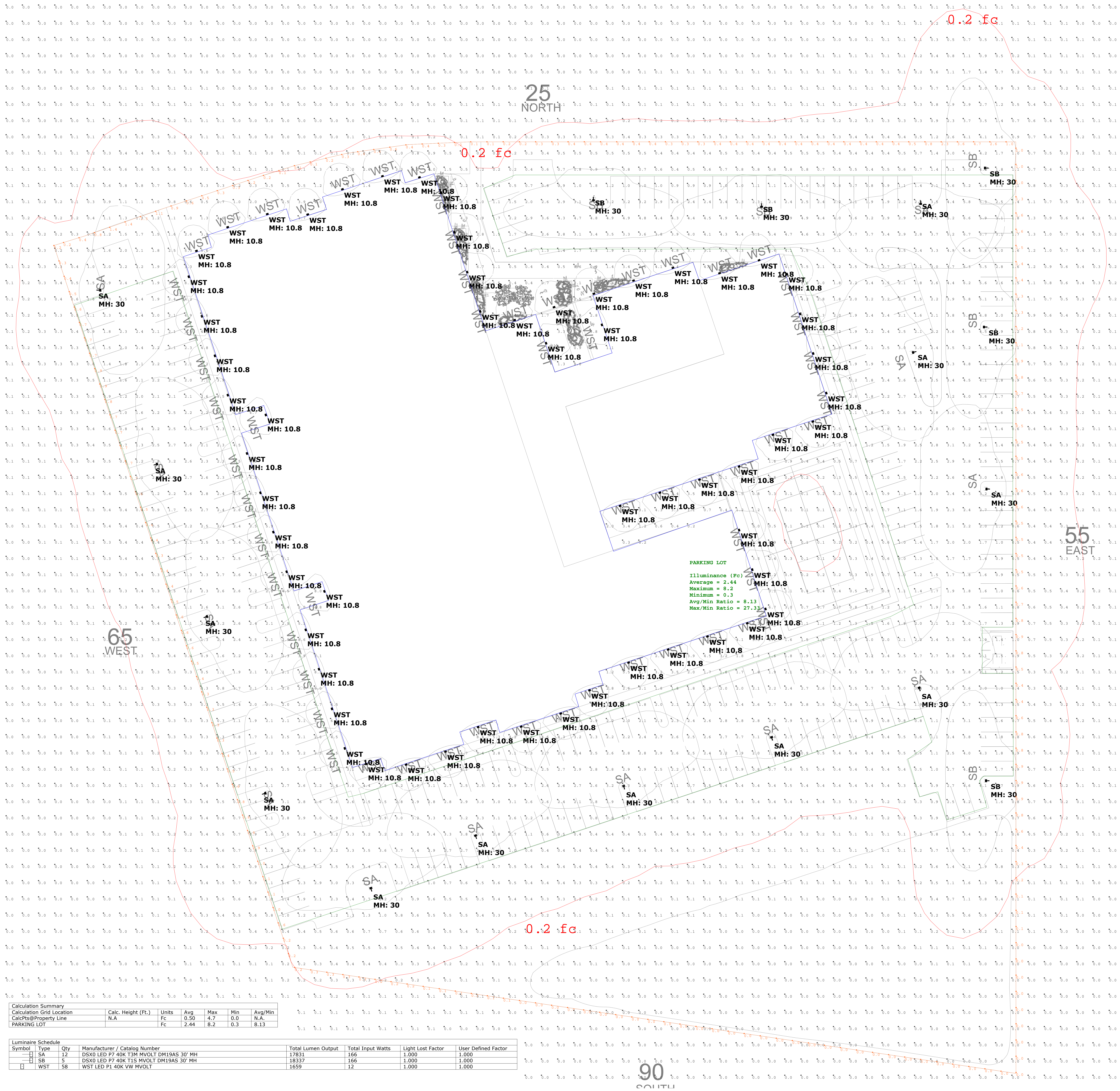
- A. Glare. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
- B. Light at residential property line. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle.
- C. Light at nonresidential property line. The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.

(Ord. No. 10-14, § 51, 7-6-2010)

- D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.

(Ord. No. 06-14, 4-17-2006)

- E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



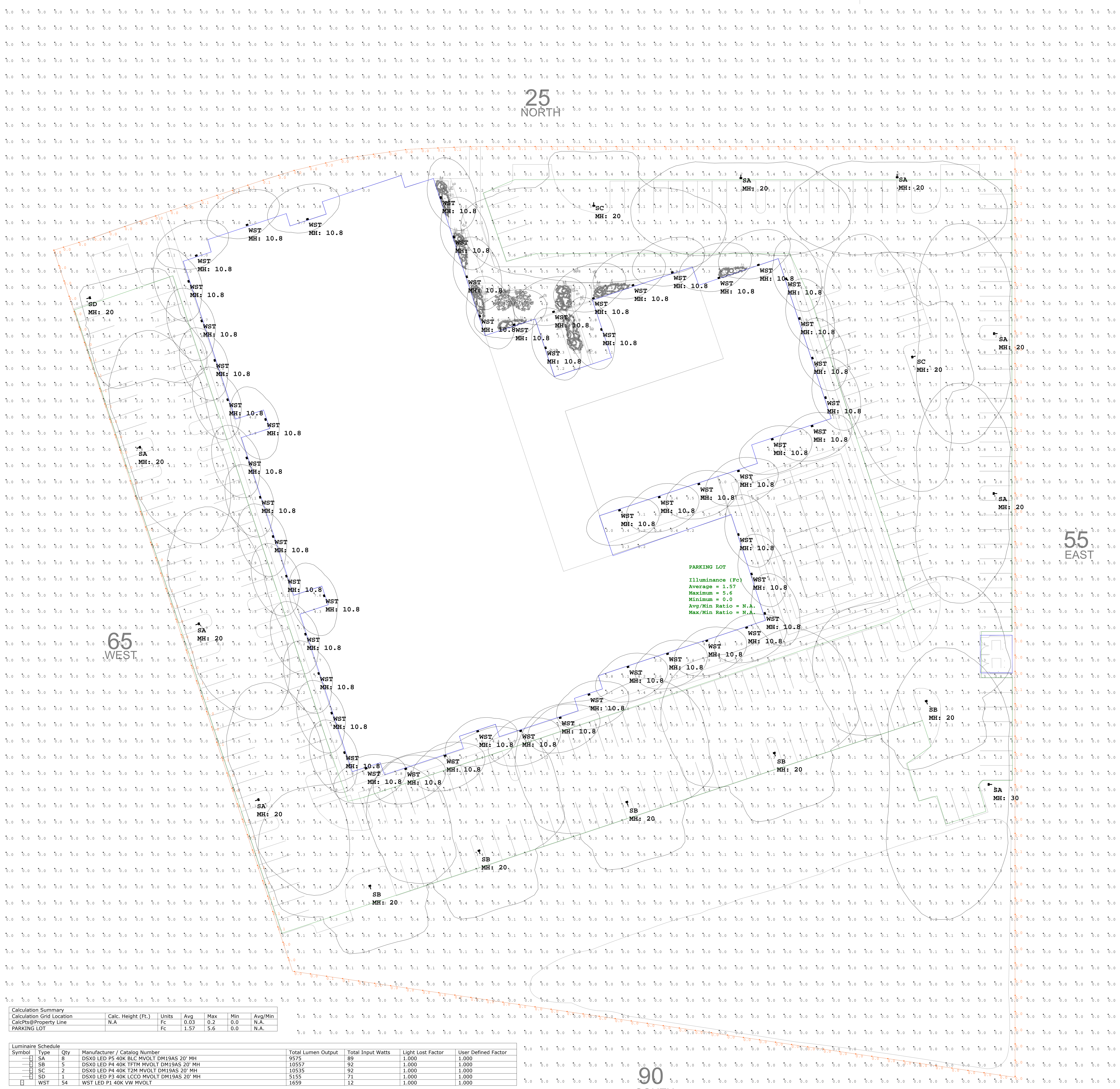
PARKING LOT
 Illuminance (Fc)
 Average = 2.44
 Maximum = 8.2
 Minimum = 0.3
 Avg/Min Ratio = 8.13
 Max/Min Ratio = 27.33

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
Calc:Property Line	N.A	Fc	0.50	4.7	0.0	N.A.
PARKING LOT		Fc	2.44	8.2	0.3	8.13

Luminaire Schedule						
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	User Defined Factor
SA	12	DSX0 LED P7 40K T3M MVOLT DM19AS 30' MH	17831	166	1,000	1,000
SB	5	DSX0 LED P7 40K T1S MVOLT DM19AS 30' MH	18337	166	1,000	1,000
WST	58	WST LED P1 40K VW MVOLT	1659	12	1,000	1,000

Notes:
 1. Surface reflectance: Vertical/Horizontal - 50/30
 2. Calculation values are as height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Shows luminaire data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumens output of solid luminaires, multiply Total Lumen Output by User Defined Factor.

- A. Glare. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
 - B. Light at residential property line. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle.
 - C. Light at nonresidential property line. The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.
- (Ord. No. 10-14, § 51, 7-6-2010)
- D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.
- (Ord. No. 06-14, 4-17-2006)
- E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
CalcPts@Property Line	N/A	Fc	0.03	0.2	0.0	N/A
PARKING LOT	N/A	Fc	1.57	5.6	0.0	N/A

Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Lost Factor	User Defined Factor
SA	8	8	DSX0 LED P5 40K BLC MVOLT DM19AS 20' MH	9575	89	1.000	1.000
SB	5	5	DSX0 LED P4 40K TFM MVOLT DM19AS 20' MH	10557	92	1.000	1.000
SC	2	2	DSX0 LED P4 40K T2M MVOLT DM19AS 20' MH	10535	92	1.000	1.000
SD	1	1	DSX0 LED P3 40K LCCO MVOLT DM19AS 20' MH	5155	71	1.000	1.000
WST	54	54	WST LED P1 40K VV MVOLT	1659	12	1.000	1.000

Notes:
 1. Surface reflectance: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "TM".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Fixture lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: SP2021-012
PROJECT NAME: Amended Site Plan for 259 Ranch Trail
SITE ADDRESS/LOCATIONS: 259 RANCH TRL, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Mike Prince of Truman Heights, LLC for the approval of a Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City or Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/22/2021	Approved w/ Comments

04/22/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City or Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2021-012) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Commercial (C) District standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. The signature block is required on all sheets of the plans. (Subsection 03.04.A, of Article 11)
2. If the plans have been updated since 2019 the date created needs to be updated. (Subsection 03.04. A, of Article 11)
3. The distance between the existing building and the proposed building is less than the required 15-feet. The fire department will require the south wall to be fire rated. For this requirement consult the fire department. (Subsection 03.04. B, of Article 11)
4. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
5. The Ranch Trail right-of-way (ROW) is 60-feet and requires 30-feet of ROW on each side of the centerline. Correct the plans to reflect this; subsequently more ROW may need to be dedicated. Consult with the engineering department on this requirement. (Subsection 03.04. B, of Article 11)
6. Indicate the Ranch Trail centerline. (Subsection 03.04. B, of Article 11)
7. Indicate the type and location of any proposed or existing fences. The height and type of fence must be included. (Subsection 08.02. F, of Article 08)
8. Show all proposed and existing utility equipment (pad/ground and roof mounted) and their subsequent screening. Pad mounted must be screening from any public ROW and adjacent properties; the existing units are still visible from the southern property. Roof mounted must not be visible from the street or adjacent properties. (Subsection 01.05. C, of Article 05)
9. Clearly identify the material utilized in the dumpster screening; confirm that the gate is self-latching and opaque. Please review the requirement: Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. (Subsection 01.05. B, of Article 05)

M.6 Landscape Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Shrubs are a 5-gallon minimum. (Subsection 05.03. B, of Art. 08)
3. Indicate all existing trees and shrubs. (Subsection 05.03. B, of Art. 08)
4. Indicate if any trees are to be removed. If so, a treescape plan must be submitted. (Subsection 03.01, of Article 09)
5. Include a statement that indicating that the irrigation will meet the requirements within the Unified Development Code. (Subsection 05.04, of Art. 08)

M.7 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Adjust your lighting to meet the following: The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. Currently both of these standards are not meet given the proposed photometric plan (Subsection 03.03. G, of Article 07)
3. Verify and indicate the up lighting; no up lighting shall exceed 15W. (Subsection 03.03. A, of Article 07)
4. Provide cutsheets of all proposed lighting. (Subsection 03.03, of Article 07)

M.8 Building Elevations:

1. Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01, of Art. 05)
2. Indicate the style of the metal roofing, as lapped seam, bituminous built-up roofs, and/or flat membranetype roofs that are visible from adjacent properties or public right-of-way shall be prohibited. (Subsection 04.01, of Art. 05)
3. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. Consider crosshatching on the elevations where any roof mounted units will be located. (Subsection 01.05. C, of Article 05)
4. The proposed elevations do not meet the horizontal articulation, vertical articulation, and roof pitch. (Subsection 04.01 C. 1, of Article 05)

I.9 All proposed and existing signage will be covered in the building permit.

M.10 There are currently three (3) variances with the proposed plans, which are as follows: horizontal articulation, vertical articulation, and roof pitch. The letter requesting the variances will need to be updated to include the vertical articulation.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on May 4, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 27, 2021.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 11, 2021.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - Dimensions for separation between driveways is measured from edge of paving to edge of paving.

M - Dimension all driveway spacing distances.

The following items are informational for the engineering design process.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees for expansion (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.

- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - Must plat

Drainage Items:

- I - Dumpster areas to drain to oil/water separator and then to the storm lines.

Roadway Paving Items:

- I - Parking to be 20'x9' facing the building or nose-to-nose.
- I - No dead-end parking allowed.
- I - Drive isles to be 24' wide.
- I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- I - Fire lane to be in a platted easement.
- M - Fix Driveway Spacing labeling between driveways and existing driveways north and south on Ranch Trail. Measured from edge to edge of each driveway. 100 ft spacing between driveways min required.
- I - Full Panel Concrete replacement on Ranch Trail for proposed utilities.

Water and Wastewater Items:

- I - Sanitary Sewer Pro-Rata \$94.41 per acre
- I - Do you plan on changing the water or sewer services? Impact fees will apply to up sizing the meter.

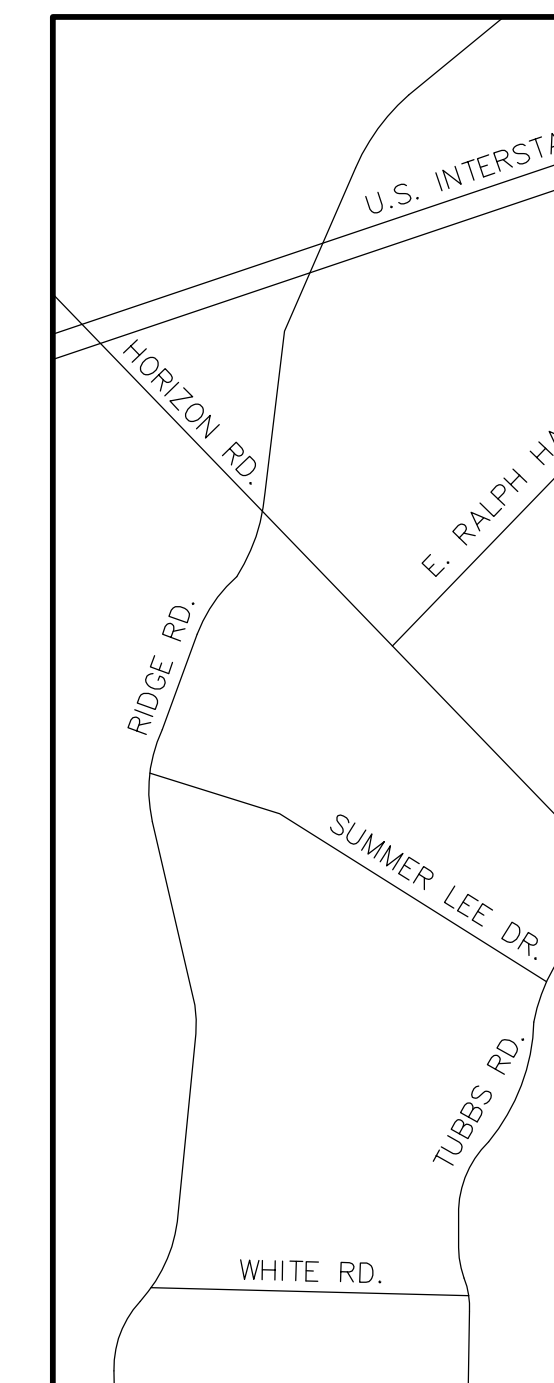
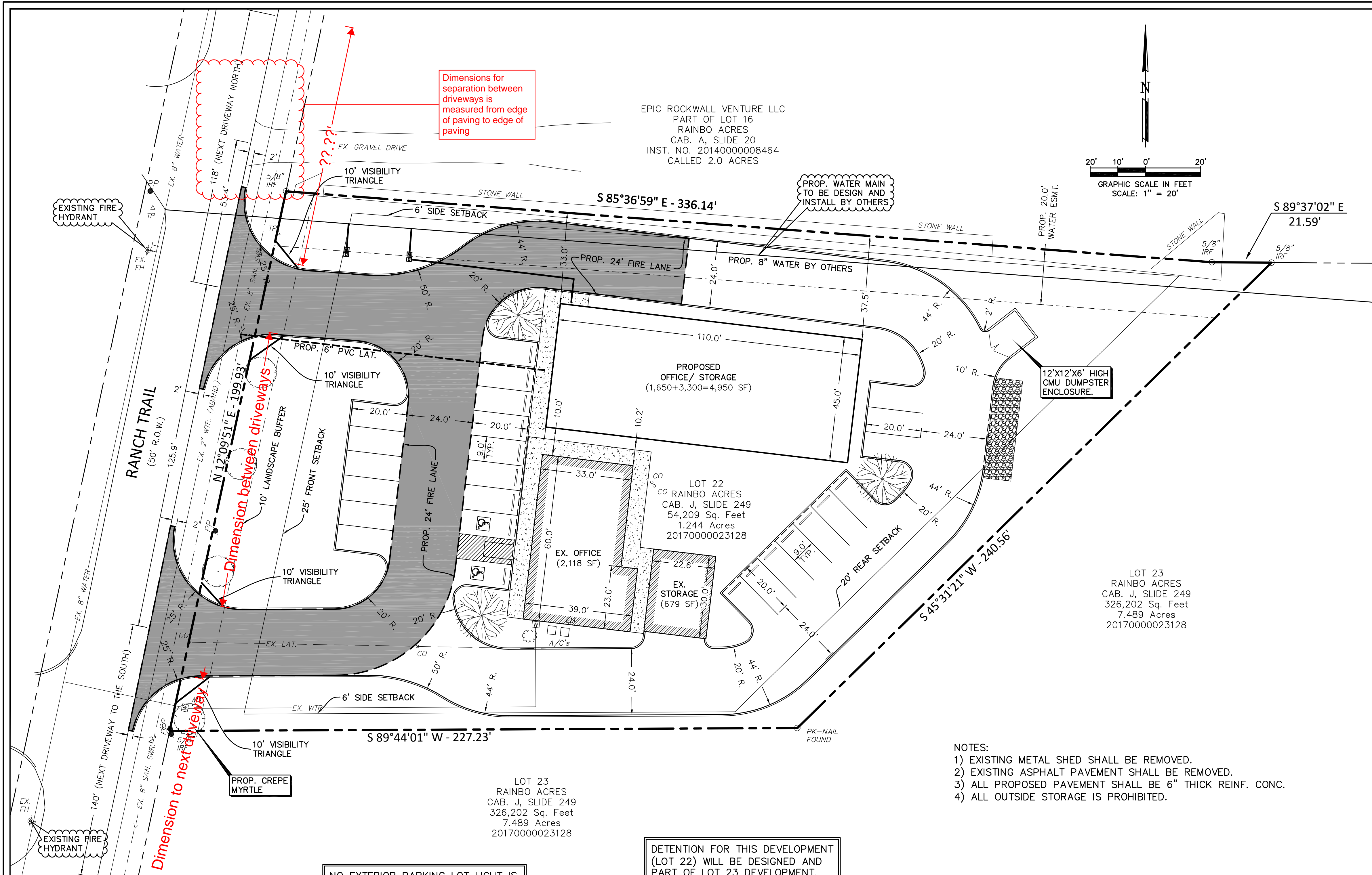
Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - No shrubs or trees to be planted within 4' from back of curb on any parking space with a length = 18'

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

04/19/2021: No comments

04/19/2021: Trees not to be within 5' of water and sewer lines



- General Items:**
- I - Must meet City Standards of Design and Construction
 - I - 4% Engineering Inspection Fees
 - I - Impact Fees for expansion (Water, Wastewater & Roadway)
 - I - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - I - Retaining walls 3' and over must be engineered.
 - I - All retaining walls must be rock or stone face. No smooth concrete walls.
 - I - Must plat

- Drainage Items:**
- I - Dumpster areas to drain to oil/water separator and then to the storm lines.

- Roadway Paving Items:**
- I - Parking to be 20'x9' facing the building or nose-to-nose.
 - I - No dead-end parking allowed.
 - I - Drive isles to be 24' wide.
 - I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - I - Fire lane to be in a platted easement.
 - M - Fix Driveway Spacing labeling between driveways and existing driveways north and south on Ranch Trail. Measured from edge to edge of each driveway. 100 ft spacing between driveways min required.
 - I - Full Panel Concrete replacement on Ranch Trail for proposed utilities.

- Water and Wastewater Items:**
- I - Sanitary Sewer Pro-Rata \$94.41 per acre
 - I - Do you plan on changing the water or sewer services? Impact fees will apply to up sizing the meter.

- Landscaping:**
- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - I - No shrubs or trees to be planted within 4' from back of curb on any parking space with a length = 18'

SITE DATA

LOT AREA
ZONING
IMPERVIOUS AREA - BUILDING
IMPERVIOUS AREA - PAVEMENT
TOTAL IMPERVIOUS AREA
LANDSCAPE AREA

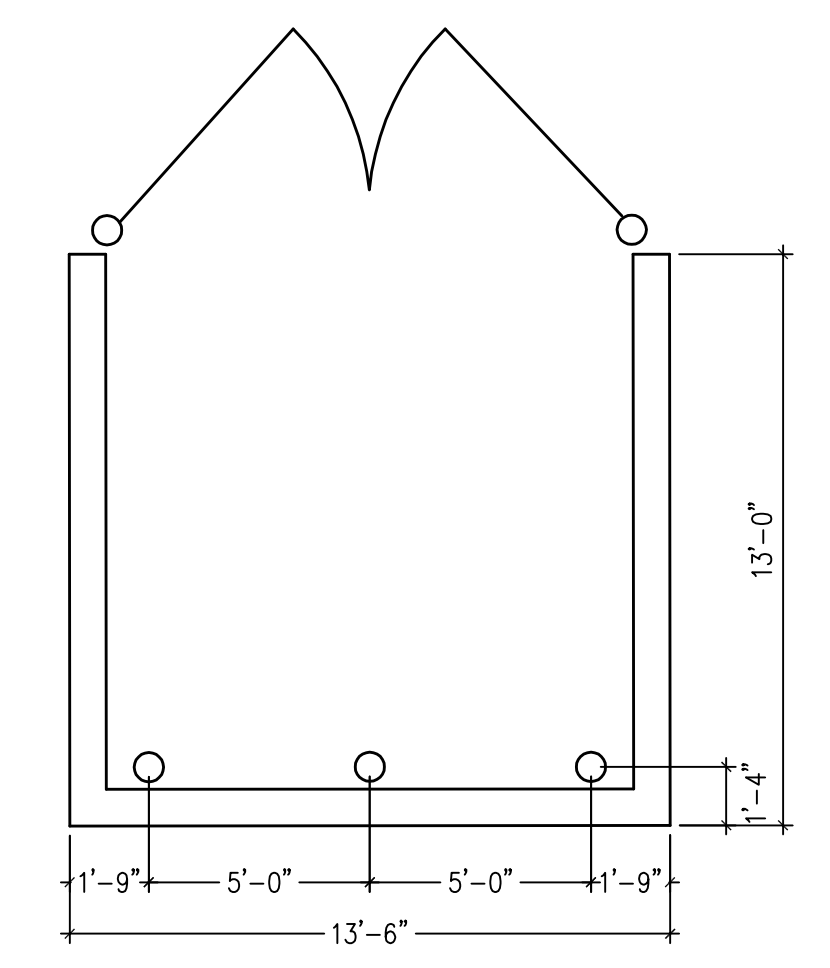
PARKING CALCULATION

PARKING REQUIRED (OFF-STREET)
PARKING REQUIRED (OFF-STREET)
PARKING REQUIRED (STREET)
PARKING REQUIRED (STREET)
TOTAL PARKING REQUIRED
PARKING PROVIDED

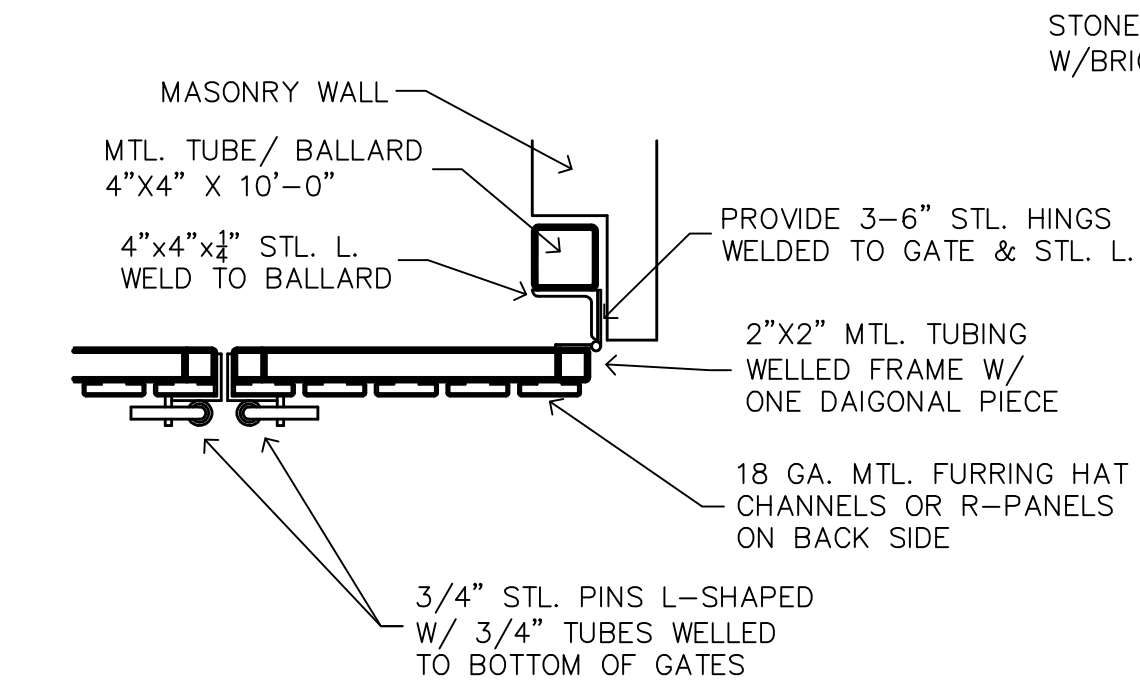
- NOTES:**
- 1) EXISTING METAL SHED SHALL BE REMOVED.
 - 2) EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 - 3) ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
 - 4) ALL OUTSIDE STORAGE IS PROHIBITED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

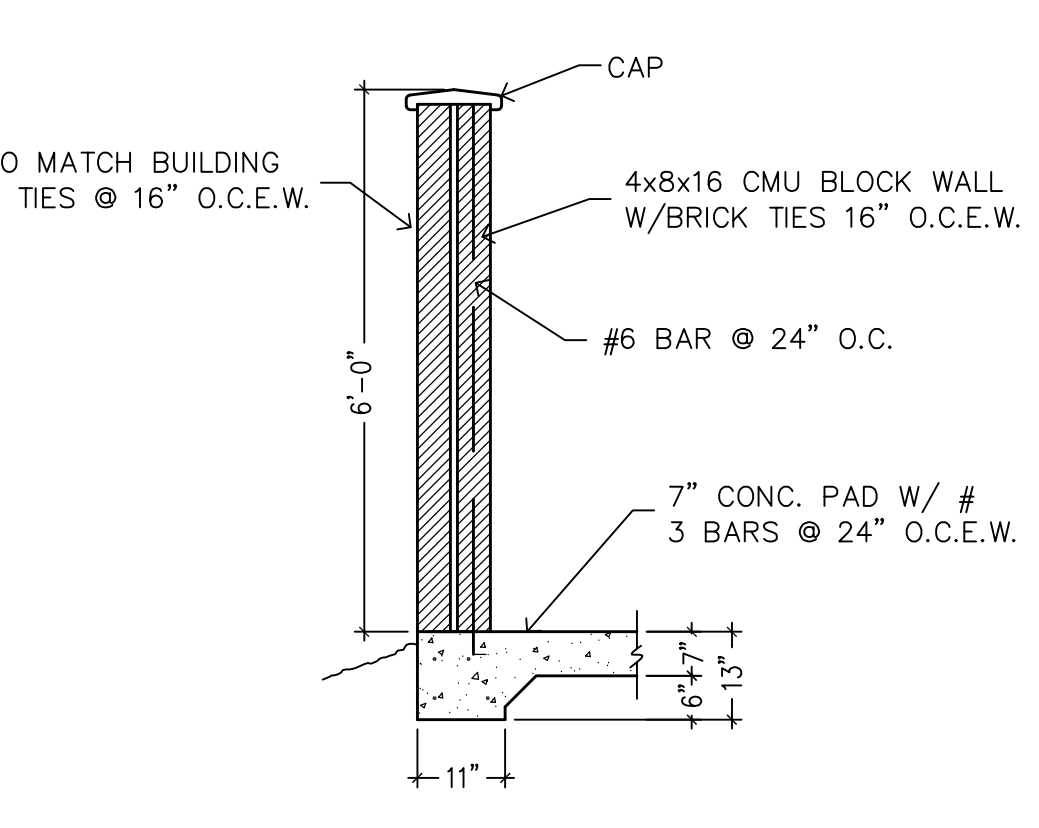
DETENTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT. ALL DETENTION SHALL BE IN PLACE BEFORE PAVING SHALL BE CONSTRUCTED.



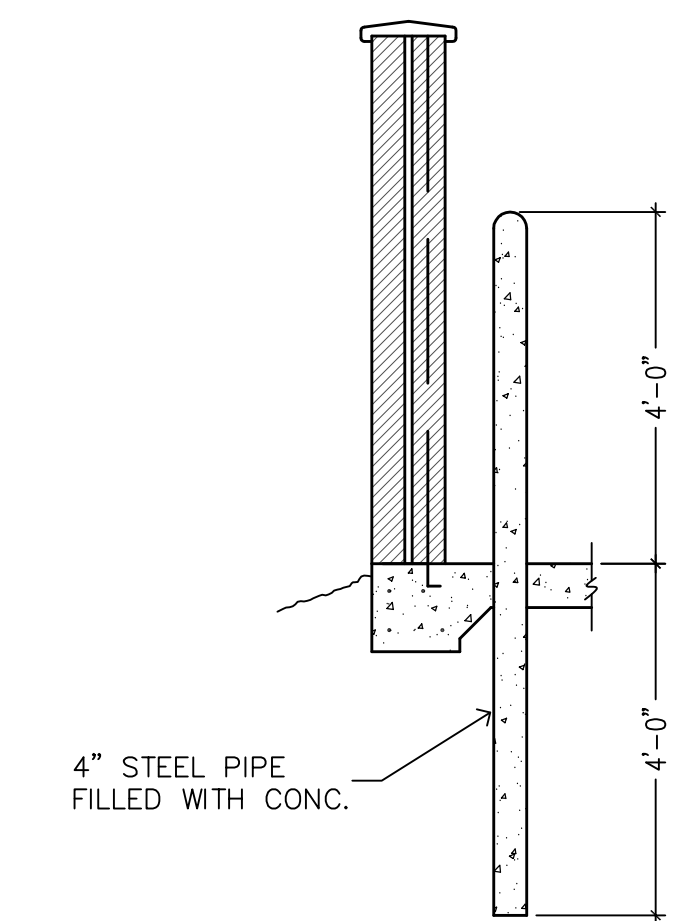
1 DUMPSTER PLAN
N.T.S.



2 DETAIL @ BALLARD
N.T.S.



3 SECTION @ DUMPSTER WALL
N.T.S.



4 DETAIL @ BALLARD
N.T.S.

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032
(972) 722-2408

SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

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THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 10/16/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE# SP2019-031

SITE PLAN
RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	2 of 9
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 259 Ranch Trail

SUBDIVISION Rainbo Acres LOT 22 BLOCK

GENERAL LOCATION Ranch Trail & Horizon Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial CURRENT USE Commercial

PROPOSED ZONING PROPOSED USE

ACREAGE 1.2 LOTS [CURRENT] 1.2 LOTS [PROPOSED] 1.2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Truman Heights LLC APPLICANT Same

CONTACT PERSON Mike Prince CONTACT PERSON

ADDRESS 259 Ranch Trail ADDRESS

CITY, STATE & ZIP Rockwall, Texas 75032 CITY, STATE & ZIP

PHONE 972-722-2408 PHONE

E-MAIL mike@rdmoormaninc.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

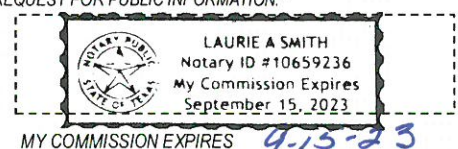
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYAN MOOLMAN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF APRIL, 2021

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2021-012- AMENDED SITE PLAN FOR 259 RANCH TRAIL
SITE PLAN - LOCATION MAP = 

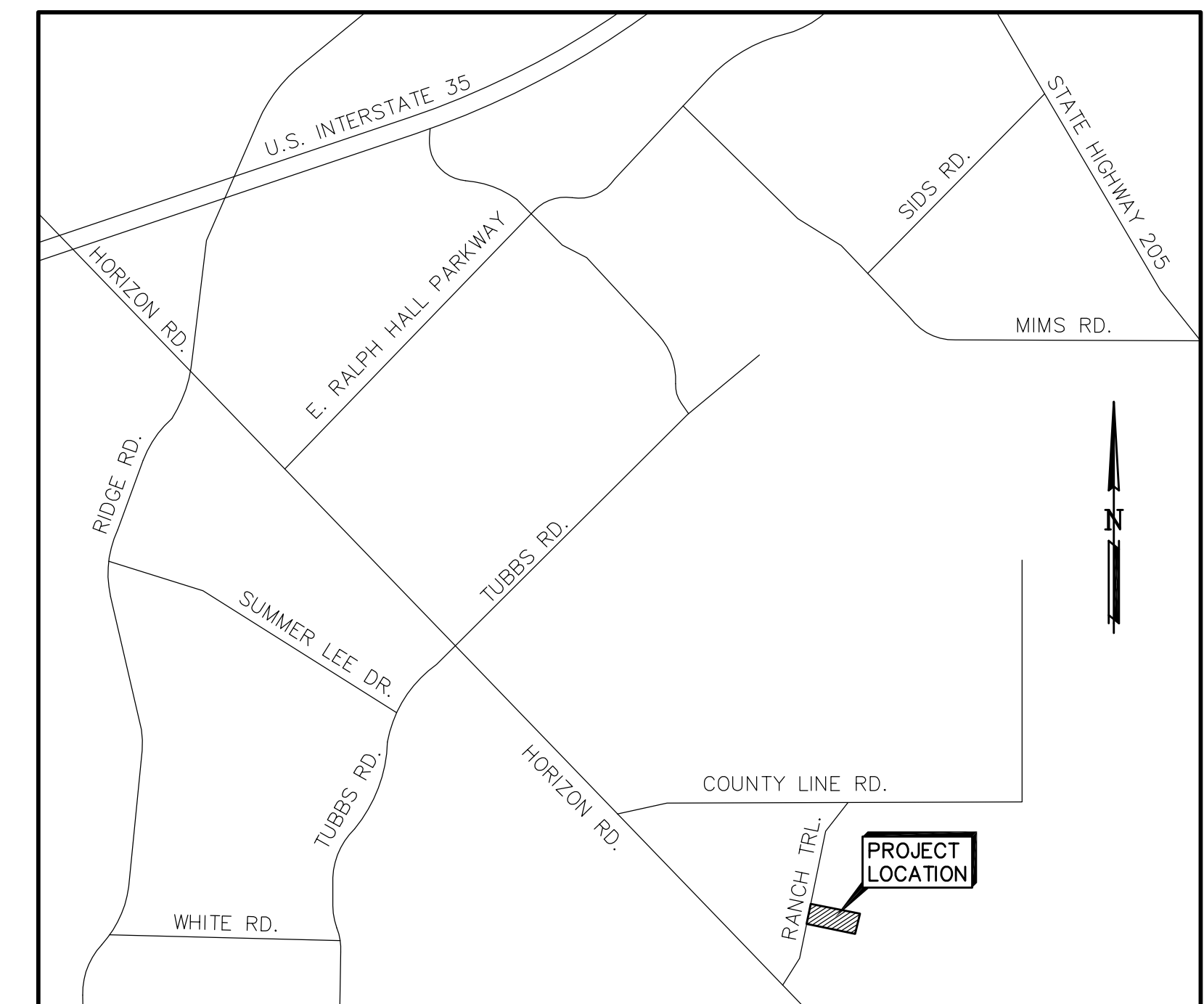
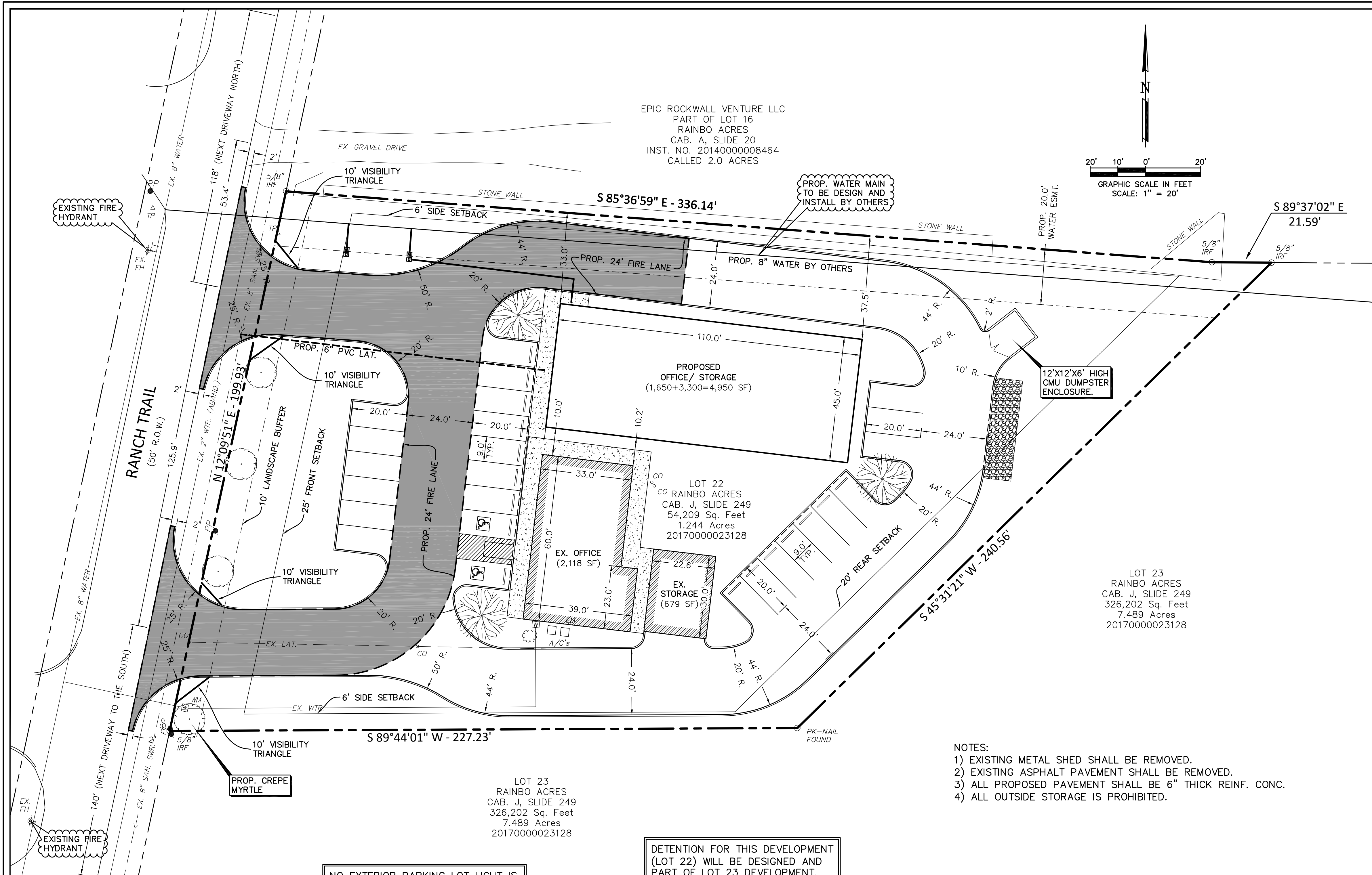


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.

SITE DATA

LOT AREA	22,740.74
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

PARKING CALCULATION

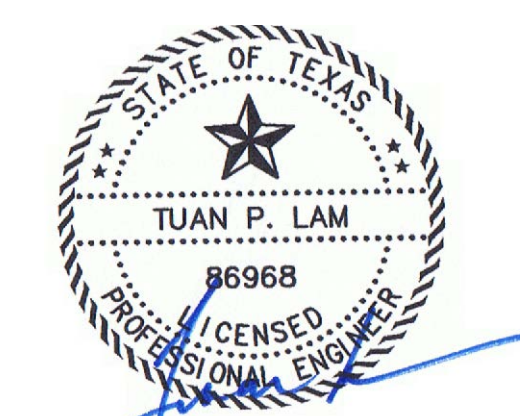
PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (OFFICE)	1,650/300 = 6 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
PARKING REQUIRED (STORAGE)	3,300/1000 = 3 SPACES
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	25 SPACES

- NOTES:
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OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032
(972) 722-2408



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CASE# SP2019-031

SITE PLAN

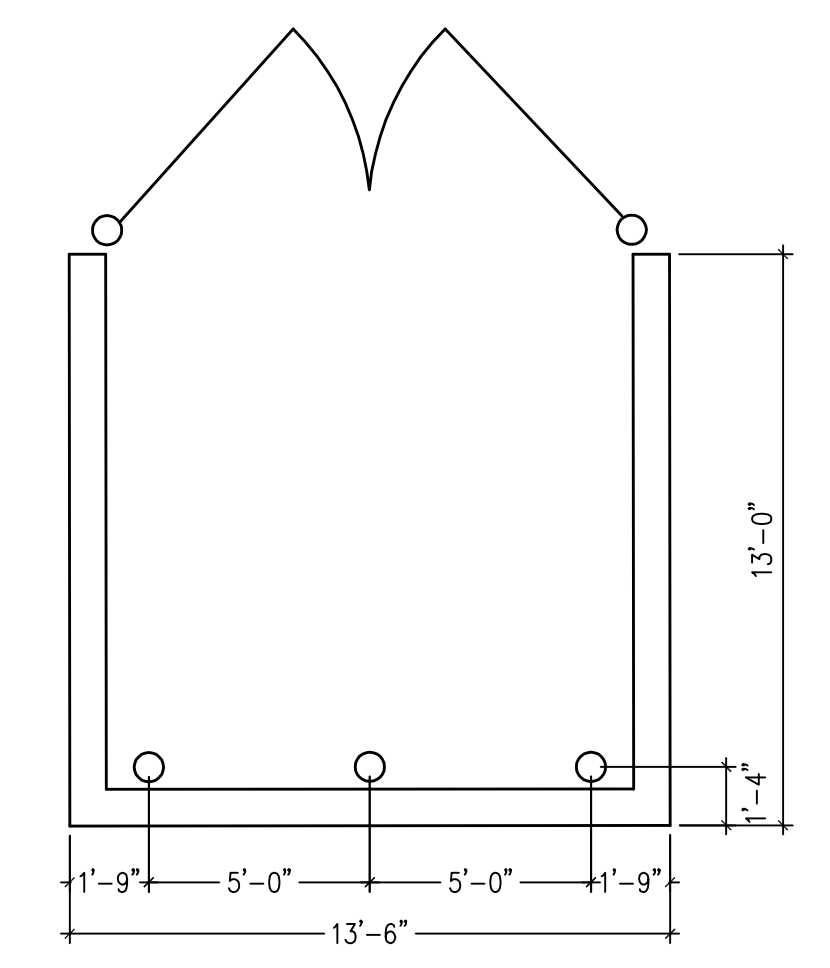
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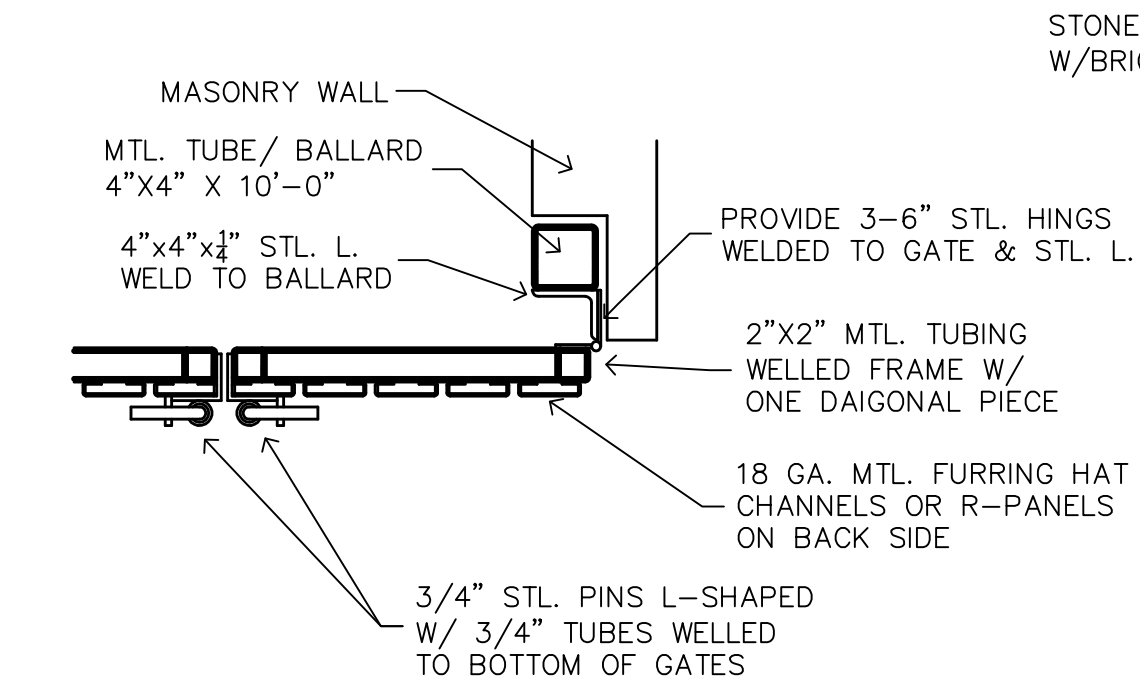
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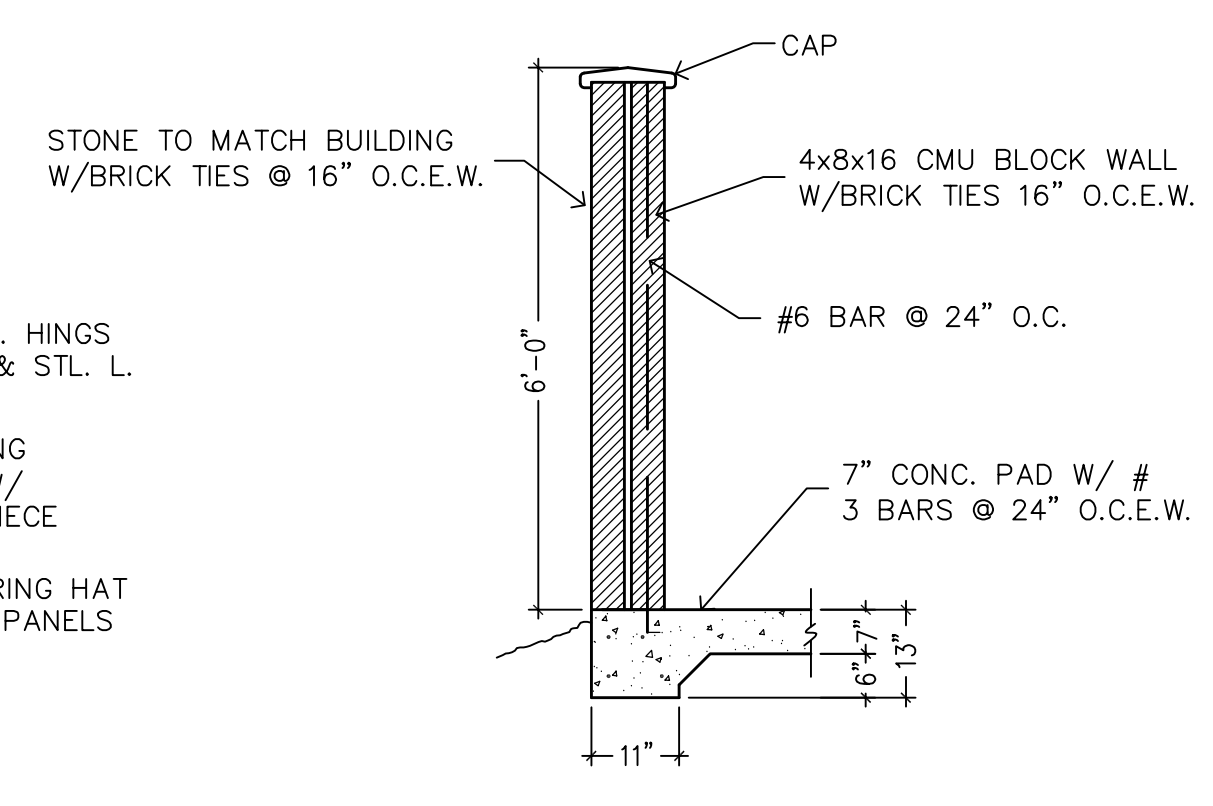
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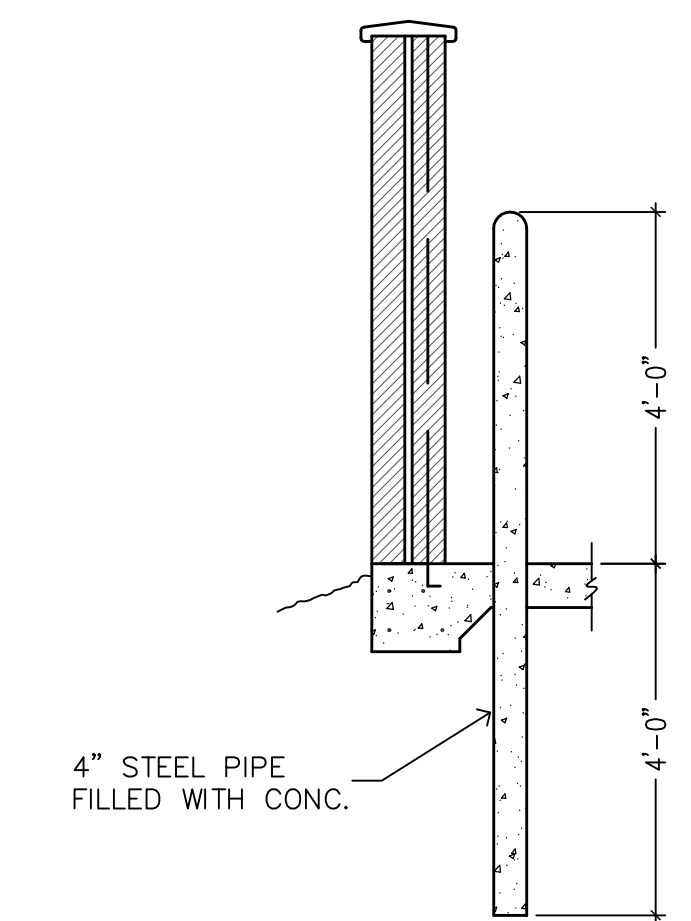
1 DUMPSTER PLAN
N.T.S.



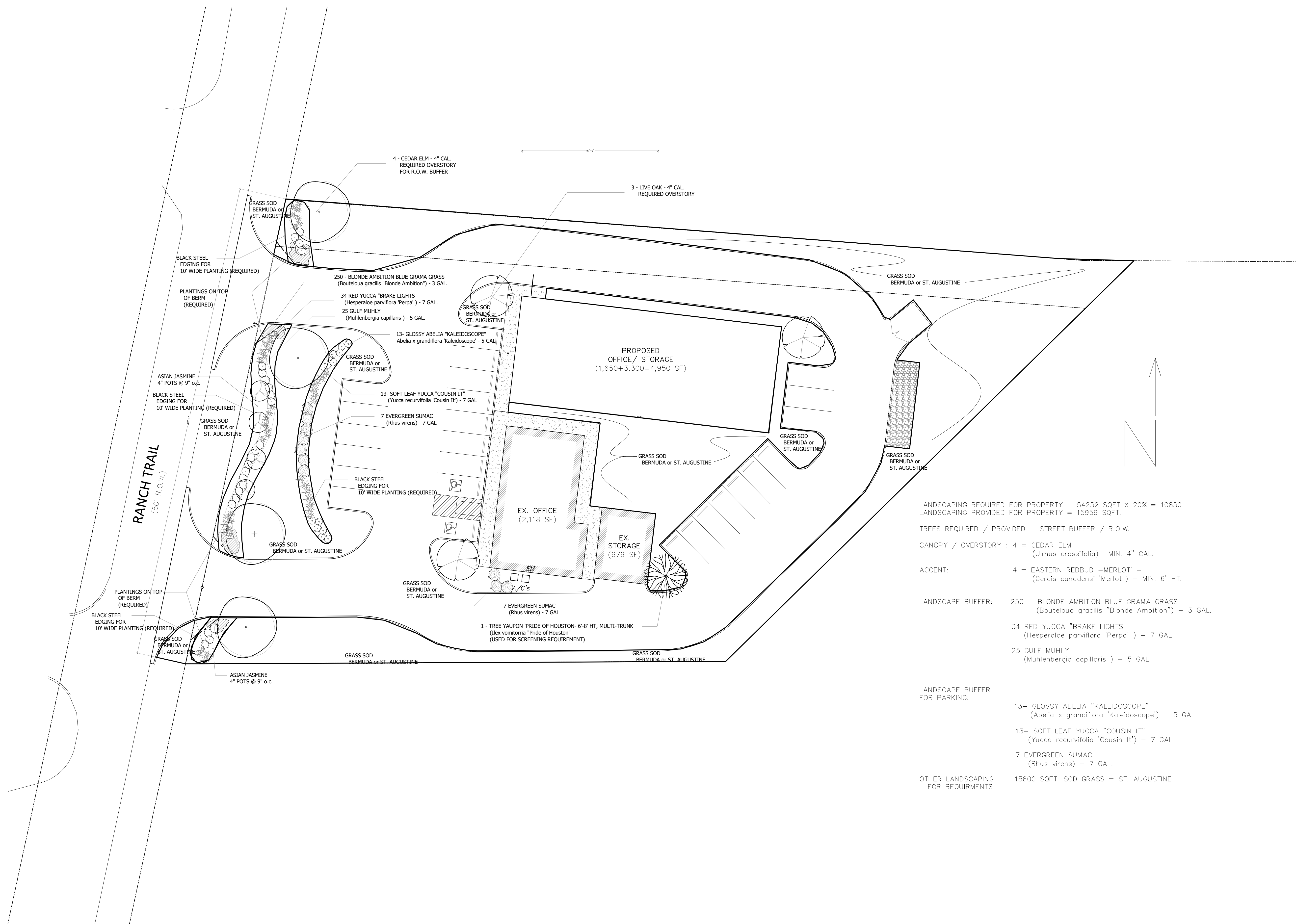
2 DETAIL @ BALLARD
N.T.S.



3 SECTION @ DUMPSTER WALL
N.T.S.



4 DETAIL @ BALLARD
N.T.S.



LANDSCAPING REQUIRED FOR PROPERTY - 54252 SQFT X 20% = 10850
 LANDSCAPING PROVIDED FOR PROPERTY = 15959 SQFT.

TREES REQUIRED / PROVIDED - STREET BUFFER / R.O.W.

CANOPY / OVERSTORY : 4 = CEDAR ELM
 (Ulmus crassifolia) - MIN. 4" CAL.

ACCENT: 4 = EASTERN REDBUD -MERLOT-
 (Cercis canadensi 'Merlot;') - MIN. 6' HT.

LANDSCAPE BUFFER: 250 - BLONDE AMBITION BLUE GRAMA GRASS
 (Bouteloua gracilis "Blonde Ambition") - 3 GAL.

34 RED YUCCA "BRAKE LIGHTS
 (Hesperaloe parviflora 'Perpa') - 7 GAL.

25 GULF MUHLY
 (Muhlenbergia capillaris) - 5 GAL.

LANDSCAPE BUFFER FOR PARKING:

13- GLOSSY ABELIA "KALEIDOSCOPE"
 (Abelia x grandiflora 'Kaleidoscope') - 5 GAL

13- SOFT LEAF YUCCA "COUSIN IT"
 (Yucca recurvifolia 'Cousin It') - 7 GAL

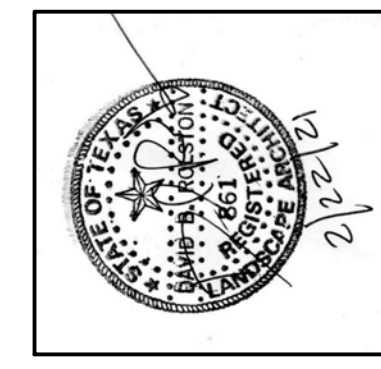
7 EVERGREEN SUMAC
 (Rhus virens) - 7 GAL.

OTHER LANDSCAPING FOR REQUIRMENTS
 15600 SQFT. SOD GRASS = ST. AUGUSTINE

David Rolston

Registered Landscape Architects

5607 Dyer Street
 Dallas, TX 75206
 214.354.5383
 www.dallasgardens.com



Date: 22 FEB 2021

Revisions:

Scale: 1/20 = 1'-0"

R.D. Moorman Inc - Landscape Plan
 259 Ranch Trail Rd
 Rockwall, TX 75032

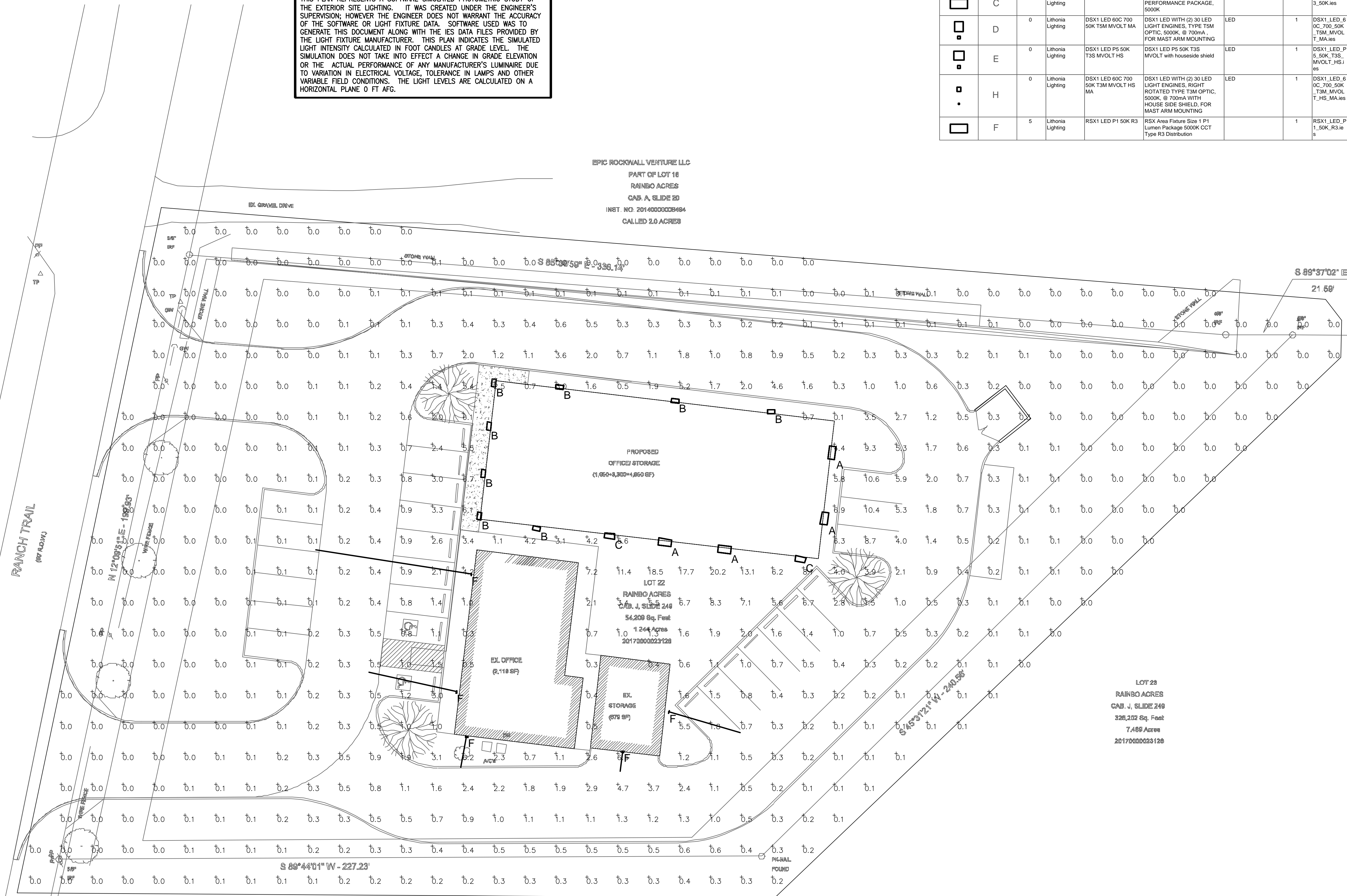
PHOTOMETRIC DISCLAIMER

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	20.2 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	4	Lithonia Lighting	ARC2 LED P5 50K	ARC2 LED WITH P5 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P5_50K.ies	6660	1	51.2609
□	B	8	Lithonia Lighting	ARC2 LED P1 50K	ARC2 LED WITH P1 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P1_50K.ies	1598	1	10.6112
□	C	2	Lithonia Lighting	ARC2 LED P3 50K	ARC2 LED WITH P3 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P3_50K.ies	3410	1	23.7345
□	D	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T3M OPTIC, 5000K, @ 700mA, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_MA.ies	15214	1	130.65
□	E	0	Lithonia Lighting	DSX1 LED P5 50K T3S MVOLT HS	DSX1 LED P5 50K T3S MVOLT with houside shield	LED	1	DSX1_LED_P5_50K_T3S_MVOLT_HS.ies	13311	1	138
□	H	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT HS MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, RIGHT ROTATED TYPE T3M OPTIC, 5000K, @ 700mA WITH HOUSE SIDE SHIELD, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_HS_MA.ies	10103	1	130.39
□	F	5	Lithonia Lighting	RSX1 LED P1 50K R3	RSX Area Fixture Size 1 P1 Lumen Package 5000K CCT Type R3 Distribution		1	RSX1_LED_P1_50K_R3.ies	7096	1	51.34

EPIC ROCKWALL VENTURE LLC
 PART OF LOT 18
 RAINBO ACRES
 CAB. A, SLIDE 20
 INST. NO. 2014000009464
 CALLED 2.0 ACRES



LOT 22
 RAINBO ACRES
 CAB. J, SLIDE 249
 328,202 Sq. Feet
 7.488 Acres
 20170000023128

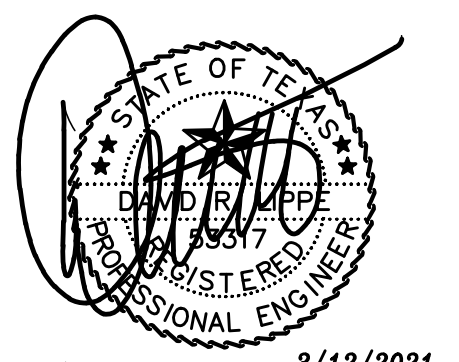
LOT 23
 RAINBO ACRES
 CAB. J, SLIDE 248
 328,202 Sq. Feet
 7.488 Acres
 20170000023128

1 SITE PLAN
 SCALE: 1/16" = 1'-0"

REVISIONS		
NO.	ITEM	DATE

PERMIT SET 02-11-21

RAINBO ACRES
 Rockwall, Texas



3/12/2021
rtm
 engineering consultants
 14901 Quorum Dr. #565
 Dallas, TX 75254
 rtmassociates.com
 972.387.3500
 firm registration# 17316

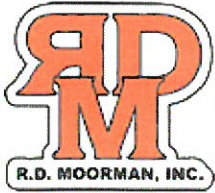
DRAWN BY: TJ
 CHECKED BY: DL

DATE 02-11-21

PROJECT 21.RDA.001

SITE PLAN
 PHOTOMETRICS

SHEET **SL1**



Truman Heights

Date: 4/16/21

259 Ranch Trail

Rockwall, Texas 75032

Subject: Variance Request

We are asking for the following variances:

- Horizontal Articulation
- Roof Pitch

The following items are the compensatory measures we are offering:

- Dedicated 5' additional for ROW on Ranch Trail.
- Increased landscape buffer facing Ranch Trail.
- Increased the building articulation.
- Included 20% masonry.
- Added canopy over main entrance.
- Added 4 additional live oak trees.

Ryan Moorman

A handwritten signature in black ink, appearing to read 'Ryan Moorman', is written over a horizontal line.

259 Ranch Trail, Rockwall Texas 75032

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: SP2021-013
PROJECT NAME:
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Chris Maynor of Z Constructors Nationwide, LLC on behalf of Ted Hoisington of the Rockwall Rotary Foundation for the approval of an Amended Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City or Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/22/2021	Approved w/ Comments

04/22/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City or Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2021-013) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Downtown (DT) District standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. The signature block is required on all sheets of the plans. (Subsection 03.04.A, of Article 11)
2. Verify the acreage and square footage. The proposed site plan, landscape plan, and photometric plan do not depict the correct boundary of the property; these plans will need to be redrawn to reflect the correct boundary. See the Rocca Villa Subdivision Plat. (Subsection 03.04. B, of Article 11)
3. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
4. Indicate the distance between the building and the southern property line. (Subsection 03.04. B, of Article 11)
5. The four additional parking spaces on the east side of the property cannot be added. The proposed added parking does not meet engineering standards and is not located entirely on the property. However, spaces may be able to be added on the western property line, given that they meet all planning and engineering design standards. (Subsection 05.03. C, of Article 06)
6. Indicate the type and location of any proposed or existing fences. The height and type of fence must be included. (Subsection 08.02. F, of Article 08)
7. Show all proposed and existing utility equipment (pad/ground and roof mounted) and their subsequent screening. Pad mounted must be screening from any public ROW and adjacent properties. Roof mounted must not be visible from the street or adjacent properties; consider crosshatching or outlining the units. (Subsection 01.05. C, of Article 05)
8. Indicate if there is a dumpster, if so meet these requirements: Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. (Subsection 01.05. B, of Article 05)

M.6 Landscape Plan:

1. Update the landscape plan to represent the property line found within the Rocca Villa Subdivision Plat. (Section 2.1 of this checklist)

2. Canopy trees are a 4" caliper minimum and shrubs are a 5-gallon minimum. (Subsection 05.03. B, of Art. 08)
3. Indicate all existing trees and shrubs. (Subsection 05.03. B, of Art. 08)
4. Indicate if any trees are to be removed. If so, a treescape plan must be submitted. (Subsection 03.01, of Article 09)
5. Include a statement that indicating that the irrigation will meet the requirements within the Unified Development Code. (Subsection 05.04, of Art. 08)
6. All landscaping must be located on the property. Consider moving the landscaping along S. Goliad Street to where the 4 parking spaces are currently proposed. As these parking spaces are not permitted the landscaping can go here. This would still need to meet all of the landscape buffer requirements within the Unified Development Code. (Subsection 05.01, of Article 08)

M.7 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. Currently the data does not all match. (Section 2.1 of this checklist)
2. Adjust your lighting to meet the following: The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. Currently the 0.2 FC standard is not meet given the proposed photometric plan (Subsection 03.03. G, of Article 07)
3. Indicate the mounting height of all pole lighting, which shall not exceed 30-feet (03.03. D, of Article 07)
4. Verify and indicate the up lighting; no up lighting shall exceed 15W. (Subsection 03.03. A, of Article 07)

M.8 Building Elevations:

1. No TPO shall be visible from the property or adjacent properties. All parapets must be finished on both sides. (Subsection 04.01, of Art. 05)
2. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. Consider crosshatching on the elevations where any roof mounted units will be located. (Subsection 01.05. C, of Article 05)

I.9 All proposed and existing signage will be covered in the building permit.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on May 4, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 27, 2021.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 11, 2021.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - Can't use TXDOT ROW for paving of parking area.

M - Drive isles to be 24' wide minimum.

M - How are vehicles able to get out of front parking area without backing into traffic?

M - Concrete to be 3,600 (min 6.5 sack mix).

M - No landscaping in TXODT ROW.

M - Check visibility clip for landscaping at corners.

The following items are informational for the engineering design process.

General Items:

I - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- M - Property Boundary line don't match platted boundaries. This needs to be corrected.

Drainage Items:

- I - Will need detention for all new impervious areas.

Water and Wastewater Items:

- I - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).
- I - Check with the Fire Marshal regarding needing sprinklers in the building.
- I - If a new service/fire line to the building is required, the main line is across Lake Meadows. Full panel concrete replacement is required.
- M - Show and label existing and proposed water and sewer mains and services, and label sizes

Roadway Paving Items:

- I - Parking to be 20'x9'.
- I - Drive isles to be 24' wide.
- I - No dead-end parking allowed without a turnaround. Must have a 15'x64' turnaround striped as no parking.
- I - All paving to min 3,600 PSI (6.5 sack/CY)
- I - Fire lane to have 20' min radius. Fire lane to be in a platted easement. If building is 30' or taller, the fire lane radii must be 30' minimum.
- M - No paving/parking allowed on TxDOT ROW.
- M - Must extend the sidewalk along Lake Meadows Drive.

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - No Landscaping in right-of-way.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2021	Needs Review

04/22/2021: Show fire apparatus roadway coverage to the new addition. The fire apparatus access road shall extend to within 150 feet of all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. T existing public street can serve as the fire apparatus roadway if the distance requirement is met.

Show the location of any existing fire hydrants providing coverage to the new addition. Where a portion of a building hereafter constructed is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	04/22/2021	Approved
No Comments			

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

PARKS

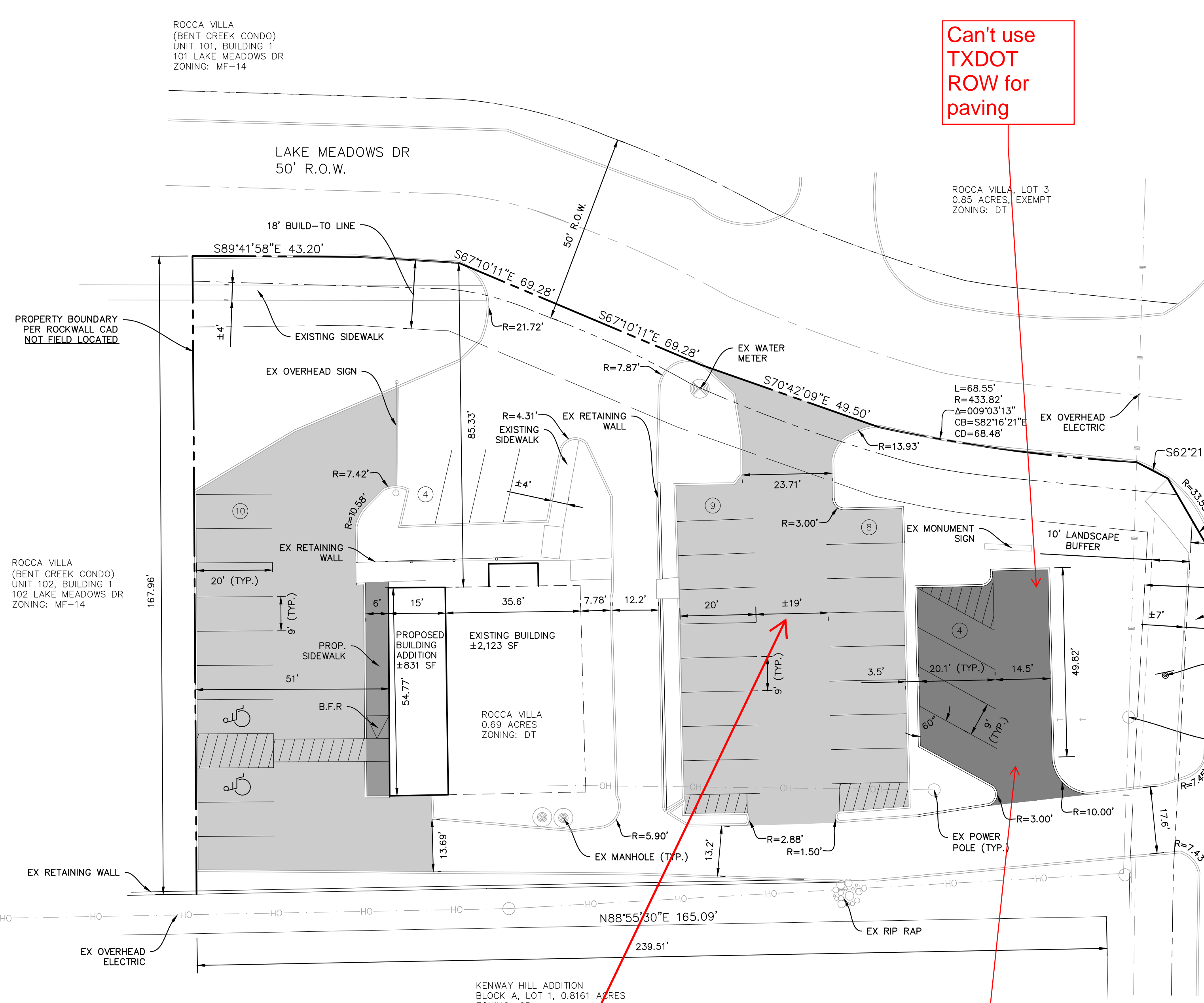
Travis Sales

04/19/2021

Approved

04/19/2021: Trees not to be within 5' of water or sewer lines

April 16, 2021 - 12:17 Des Name: C:\Promotional Projects\2-Construction\Rockwall\Rockwall - TX SITE PLAN.dwg Updated By: AVilner



Can't use TXDOT ROW for paving

Drive isles to be 24' wide minimum.

How are vehicles able to get out without backing into traffic?

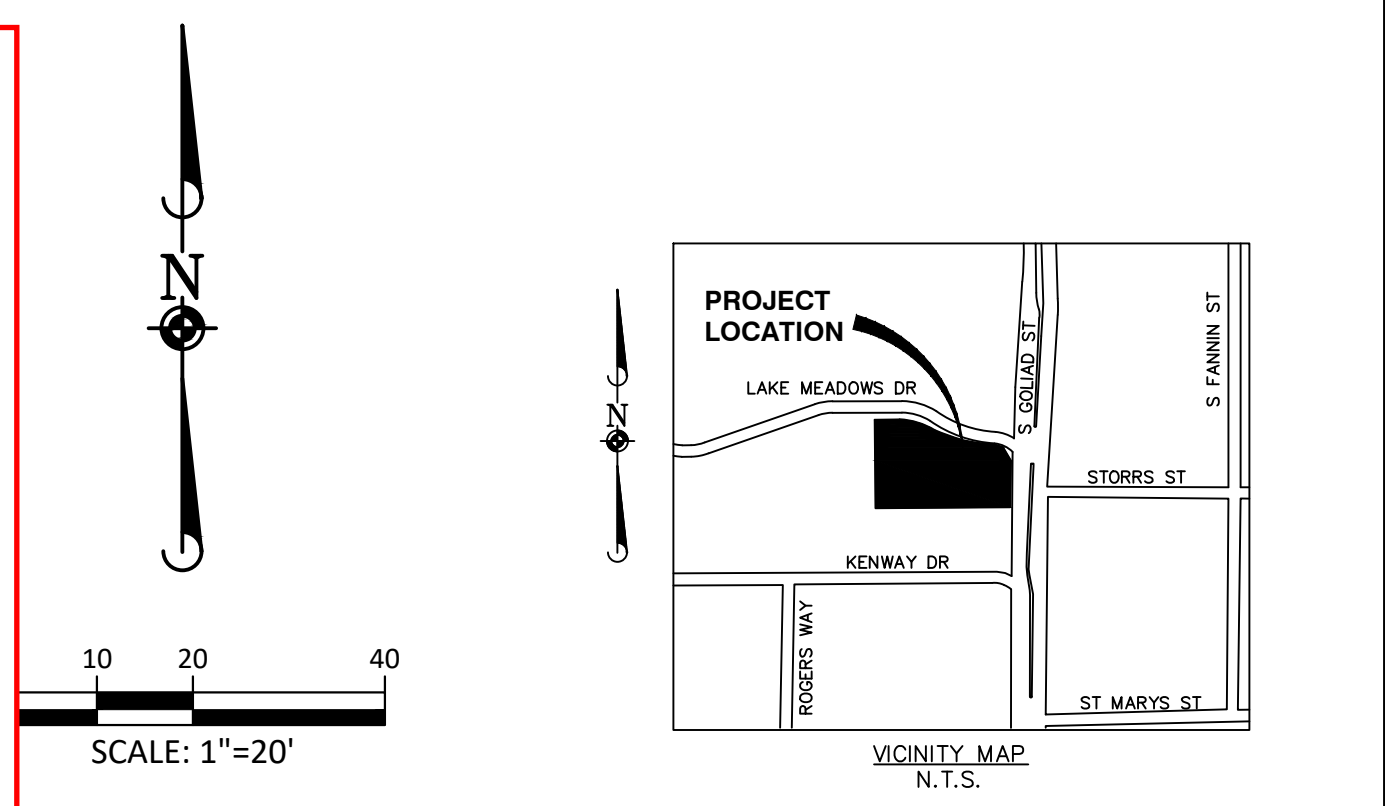
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Landscaping:
 - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No Landscaping in right-of-way.



LEGEND		SITE DATA TABLE	
DOUBLE CLEANOUT		EXISTING ZONING	DT
SANITARY MANHOLE		PROPOSED USE	COMMERCIAL
JUNCTION BOX		SITE AREA	0.69 ACRES
CURB INLET		BUILDING AREA	
GRATE INLET		EXISTING BUILDING	2,123 SF
FDC		ADDITION	831 SF
FIRE HYDRANT		PROPOSED BUILDING	2,954 SF
BARRIER FREE RAMP		PARKING	
FIRE LANE		PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALL
		PARKING PROVIDED	33 STANDARD SPACES 2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED.

PAVING LEGEND	
[Symbol]	EXISTING ASPHALT TO BE MILLED AND OVERLAID
[Symbol]	LIGHT DUTY PAVING 5" 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 6" COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
[Symbol]	SIDEWALK 4" 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS

DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
 REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION LINES CROSSING PAVED AREAS.
 REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND POSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.
 PAVING STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY MANUAL AND SPECIFICATIONS FOR EXACT LOCATION.

DEVELOPER	DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087	ENGINEER	MANHARD CONSULTING 12225 GREENVILLE AVE STE 1000 DALLAS, TEXAS 75243 972.972.4250 PH JESSE CONRAD, P.E.
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PROVIDED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2021.

WITNESS OUR HANDS, this _____ day of _____, 2021.

 Planning and Zoning Commission, Chairman

 Director of Planning and Zoning

CASE NUMBER:			
SITE PLAN			
408 S GOLIAD STREET - 0.69 ACRES			
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS			
ROCCA VILLA			
DATE:	04/16/2021	DESIGN:	AR
		DRAWN:	AV
		CHECKED:	JC

MANHARD CONSULTING

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.4250, manhard.com

Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers | Planners | Construction Managers | Environmental Scientists | Landscape Architects | Planners | Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

ROCKWALL ROTARY CLUB

408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SITE PLAN

FOR INTERIM REVIEW ONLY
 THIS DOCUMENT IS NOT
 ISSUED FOR CONSTRUCTION
 OR PERMITTING PURPOSES

JESSE CONRAD, P.E.
 TEXAS P.E. No. 130104
 ISSUED THIS DATE:
 04/16/2021

PROJ. MGR.: JC
 PROJ. ASSOC.: AR
 DRAWN BY: ANV
 DATE: 04/16/2021

SHEET
1

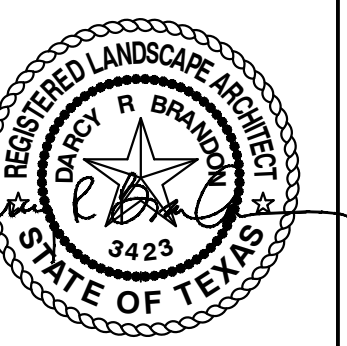
PENDING

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
TREES					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	9	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	5	CANOPY TREE
SHRUBS					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	39	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFGORD HOLLY	5 gallon	87	
ILVO	ILEX VOMITORIA	YAUAPON HOLLY	15 gallon	2	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	55	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	19	
TURF AND SEED					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	
	2"-4" Texas River Cobble, 3" Deep				

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.

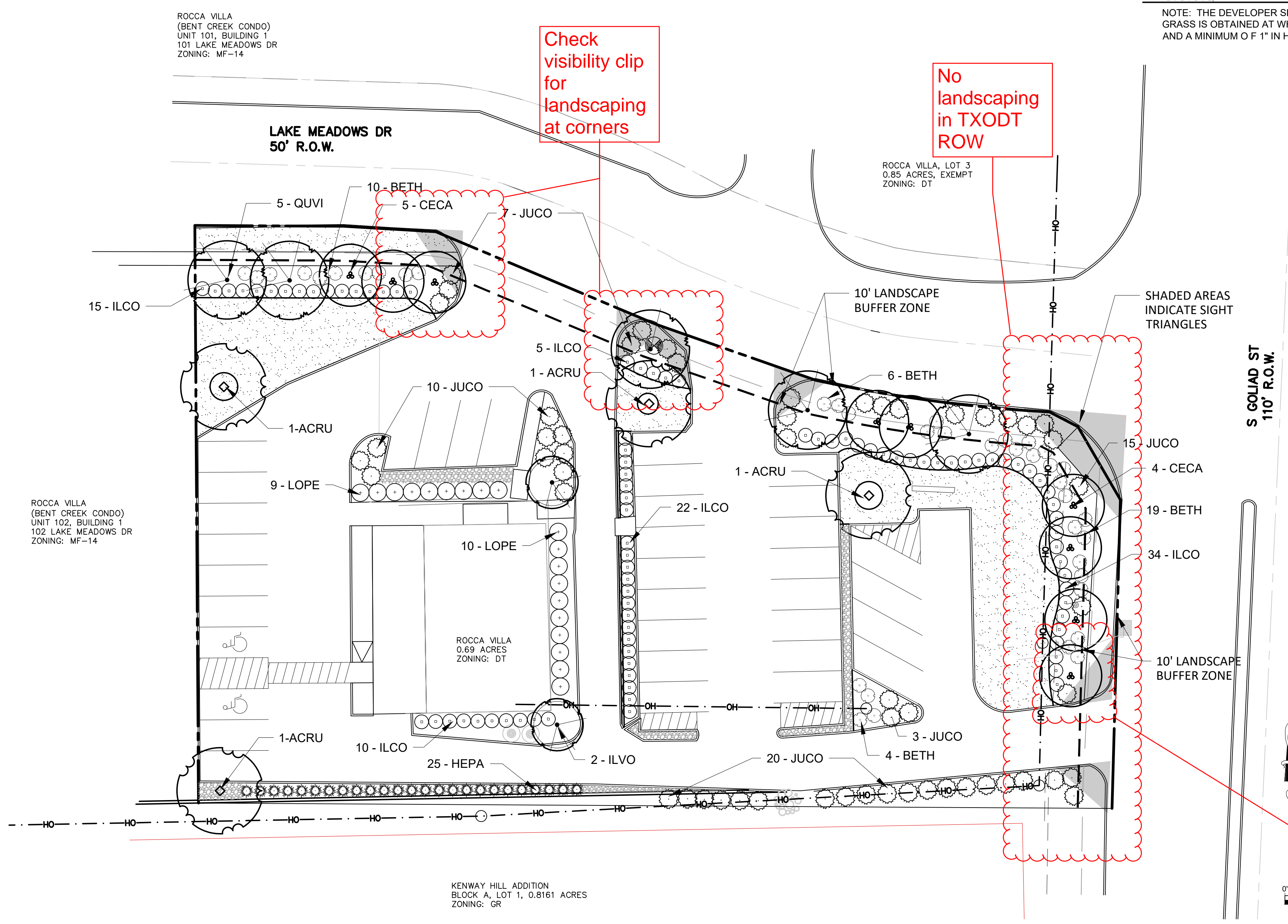
NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.



04/16/2021

Rockwall Rotary Foundation
408 S. Goliad Street
Rockwall, TX 75086

Rockwall Rotary Foundation
408 S. Goliad Street
Rockwall, TX 75086



LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
S. GOLIAD ST. - ±102' OF STREET FRONTAGE:	2 CANOPY TREES, 2 ACCENT TREES REQUIRED 4 REDBUD (ACCENT) PROVIDED (NO CANOPY TREES DUE TO OVERHEAD POWER LINES)
LAKE MEADOWS DR. ±268' STREET FRONTAGE:	5 CANOPY TREES, 5 ACCENT TREES REQUIRED 5 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS NOT APPLICABLE
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT	
TOTAL SITE AREA:	±35,301 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	±7,060 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±10,769 SF (30%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 6% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA
PROPOSED PARKING AREA:	±13,465 SF
REQ. PARKING LOT LANDSCAPING:	±673 SF
PROPOSED PARKING LOT LANDSCAPING:	±1,176 SF (8.7%)
	REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS DRY INPUT CAPABILITIES.

Scale 1" = 20'

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 5. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 6. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 7. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
 8. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
 9. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

Date	Comment

Project Number
Date 04/16/2021
Drawn By DB
Checked By DB/RM

LP-1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 408 S GOLIAD ST.

SUBDIVISION ROCK VILLA

LOT

BLOCK

GENERAL LOCATION CORNER OF S GOLIAD ST & LAKE MEADOWS DR.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING DT

CURRENT USE ROTARY CLUB

PROPOSED ZONING DT - NO CHANGE

PROPOSED USE ROTARY CLUB - NO CHANGE

ACREAGE .69 LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Rotary Foundation

APPLICANT Z Constructors Nationwide, LLC

CONTACT PERSON Ted Hoisington

CONTACT PERSON Chris Maynor

ADDRESS 408 S. Goliad St

ADDRESS 201 W. Ken Sman St.

CITY, STATE & ZIP Rockwall, TX

CITY, STATE & ZIP Richardson, TX 75081

PHONE 214-715-7790

PHONE 972-529-7930

E-MAIL tedhoisington@hotmail.com

E-MAIL cmaynor@zconstructors.com

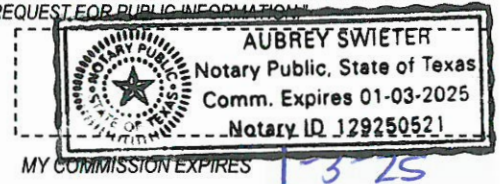
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHRIS MAYNOR [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

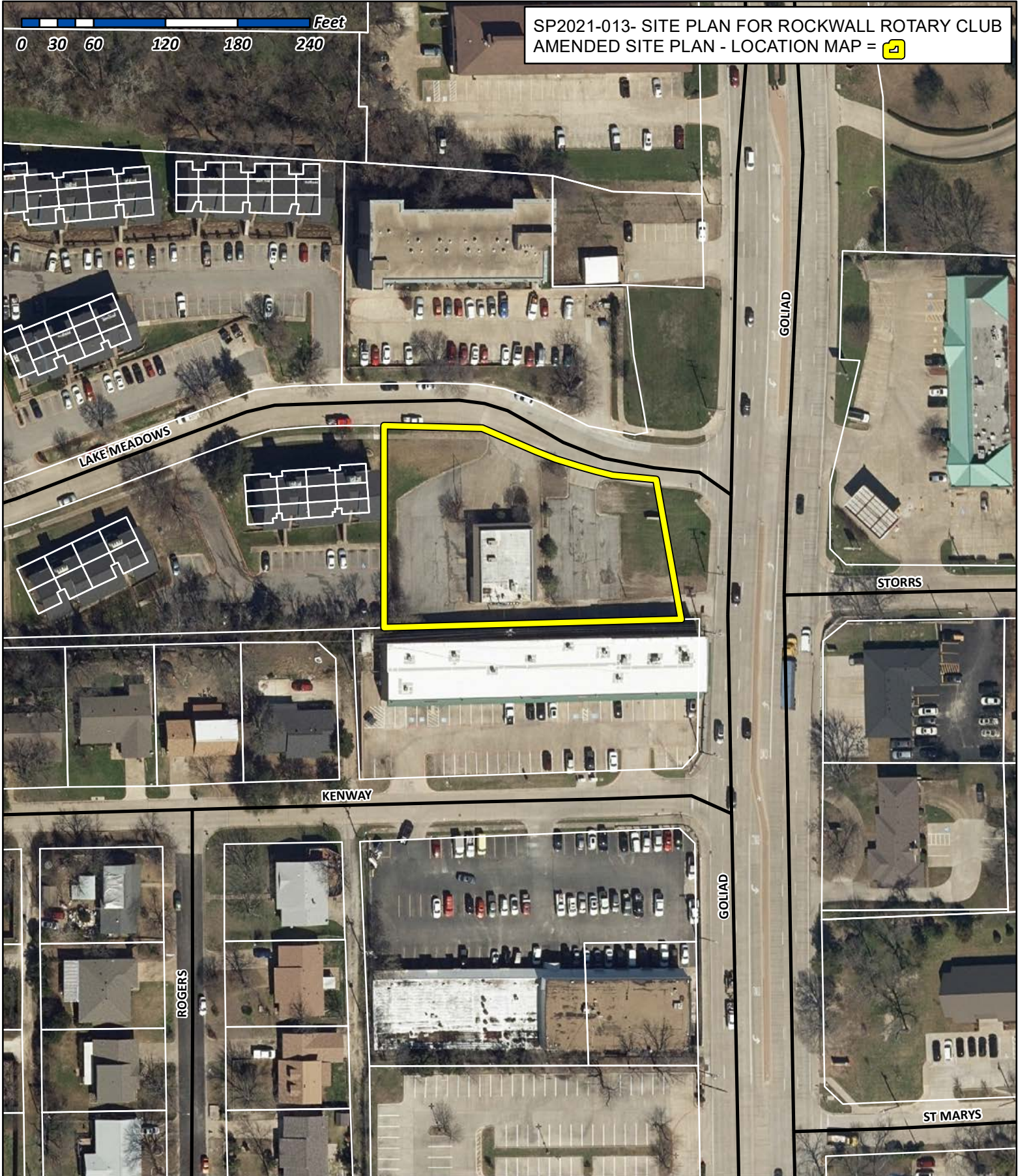
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 2021.

OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





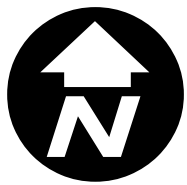
SP2021-013- SITE PLAN FOR ROCKWALL ROTARY CLUB
AMENDED SITE PLAN - LOCATION MAP =



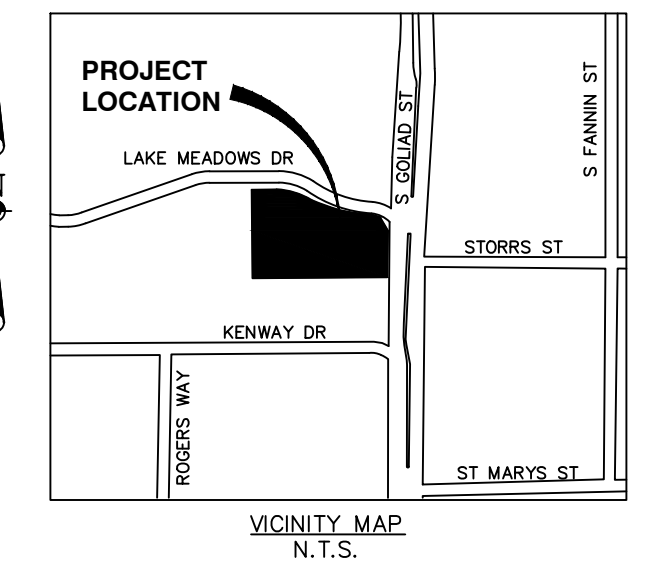
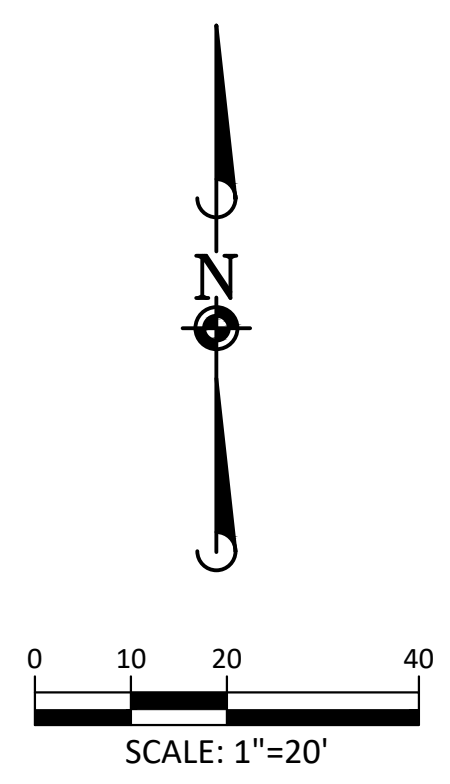
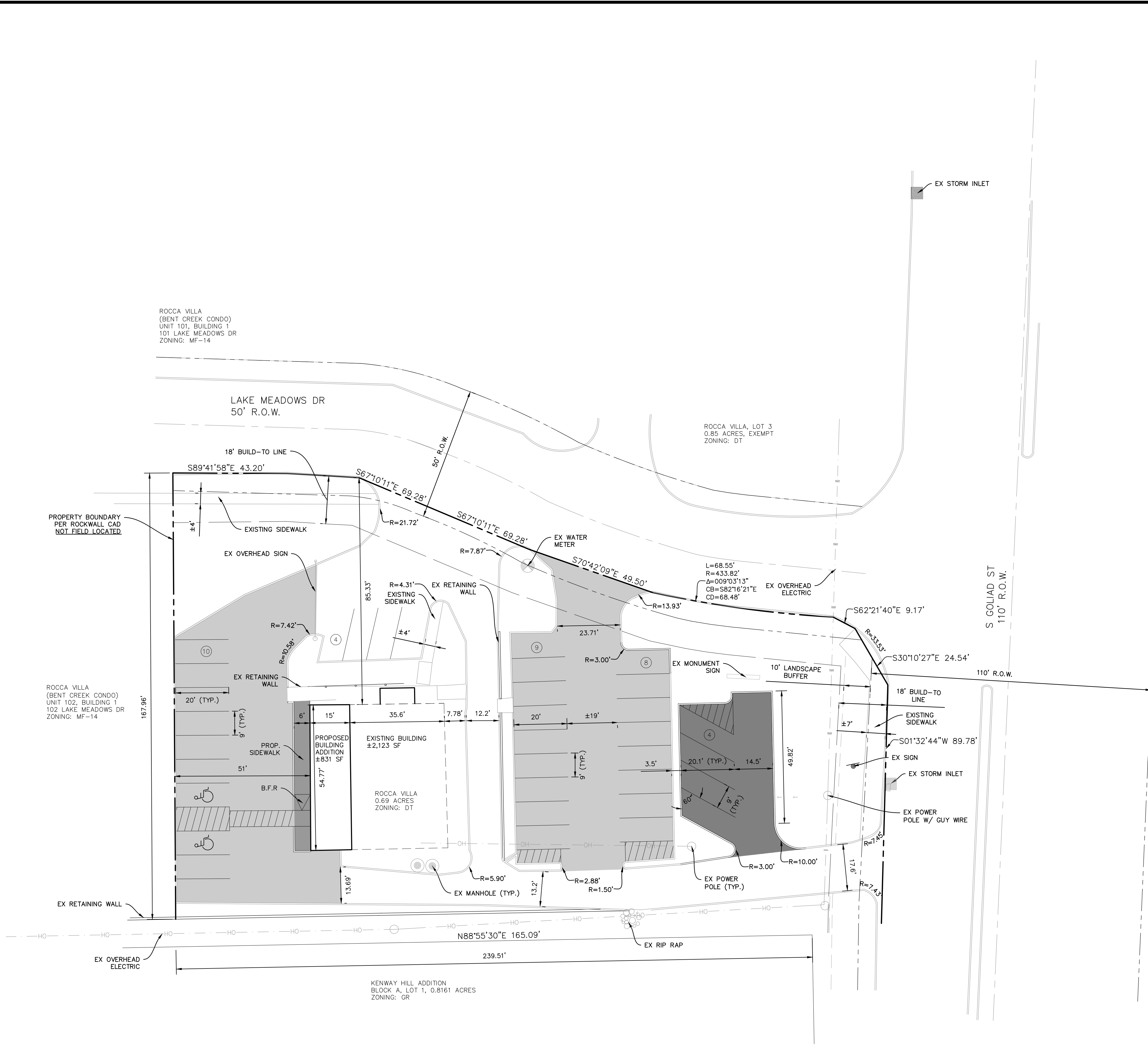
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



April 16, 2021 - 12:17 Des Name: C:\Promotional Projects\2-Construction\Rockwall\Rockwall_Tx\Site Plan.dwg Updated By: AVilnerol



LEGEND	
	DOUBLE CLEANOUT
	SANITARY MANHOLE
	JUNCTION BOX
	CURB INLET
	GRATE INLET
	FDC
	FIRE HYDRANT
	BARRIER FREE RAMP
	FIRE LANE

SITE DATA TABLE	
EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
BUILDING AREA	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
PARKING	
PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALL
PARKING PROVIDED	33 STANDARD SPACES 2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED

PAVING LEGEND	
	EXISTING ASPHALT TO BE MILLED AND OVERLAID
	LIGHT DUTY PAVING 5" 3,500 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 6" COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	SIDEWALK 4" 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - ALL CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
 - REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
 - REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND DUMPSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.
 - FIRELANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY DETAIL AND SPECIFICATIONS FOR EXACT LOCATION.

OWNER DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087	DEVELOPER DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087	ENGINEER MANHARD CONSULTING 12225 GREENVILLE AVE STE 1000 DALLAS, TEXAS 75243 972.972.4250 PH JESSE CONRAD, P.E.
--	--	--

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NUMBER:

SITE PLAN

408. S GOLIAD STREET - 0.69 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ROCCA VILLA

REVISION LOG	DATE:	DESIGN:
	04/16/2021	AR
		AV
		JC

Manhard CONSULTING
12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.4250, manhard.com
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
Construction Managers | Environmental Scientists | Landscape Architects | Planners
Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

ROCKWALL ROTARY CLUB

408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

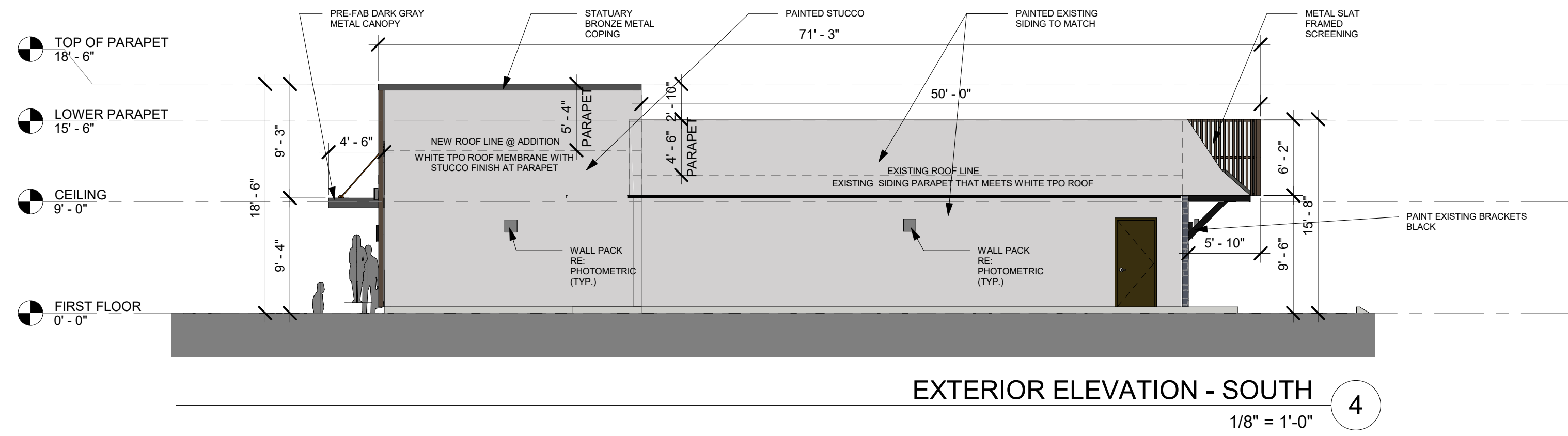
SITE PLAN

FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT
ISSUED FOR CONSTRUCTION
OR PERMITTING PURPOSES

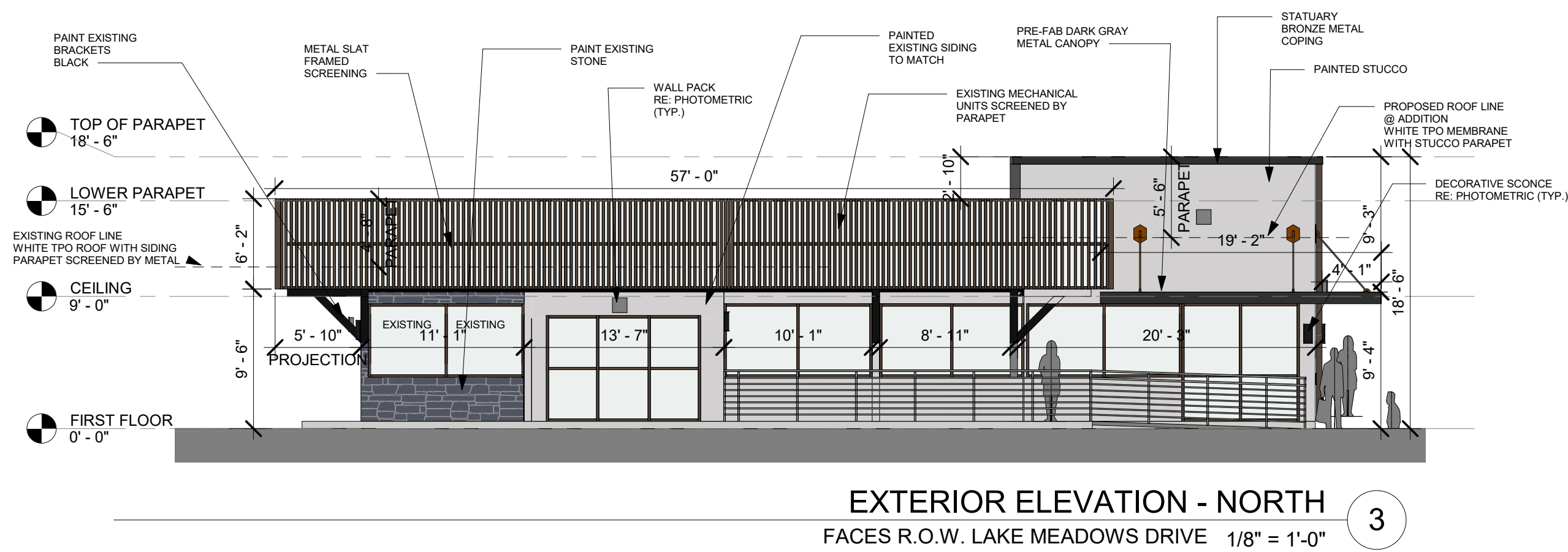
JESSE CONRAD, P.E.
TEXAS P.E. No. 130104
ISSUED THIS DATE:
04/16/2021

PROJ. MGR.: JC
PROJ. ASSOC.: AR
DRAWN BY: ANV
DATE: 04/16/2021
SHEET
1

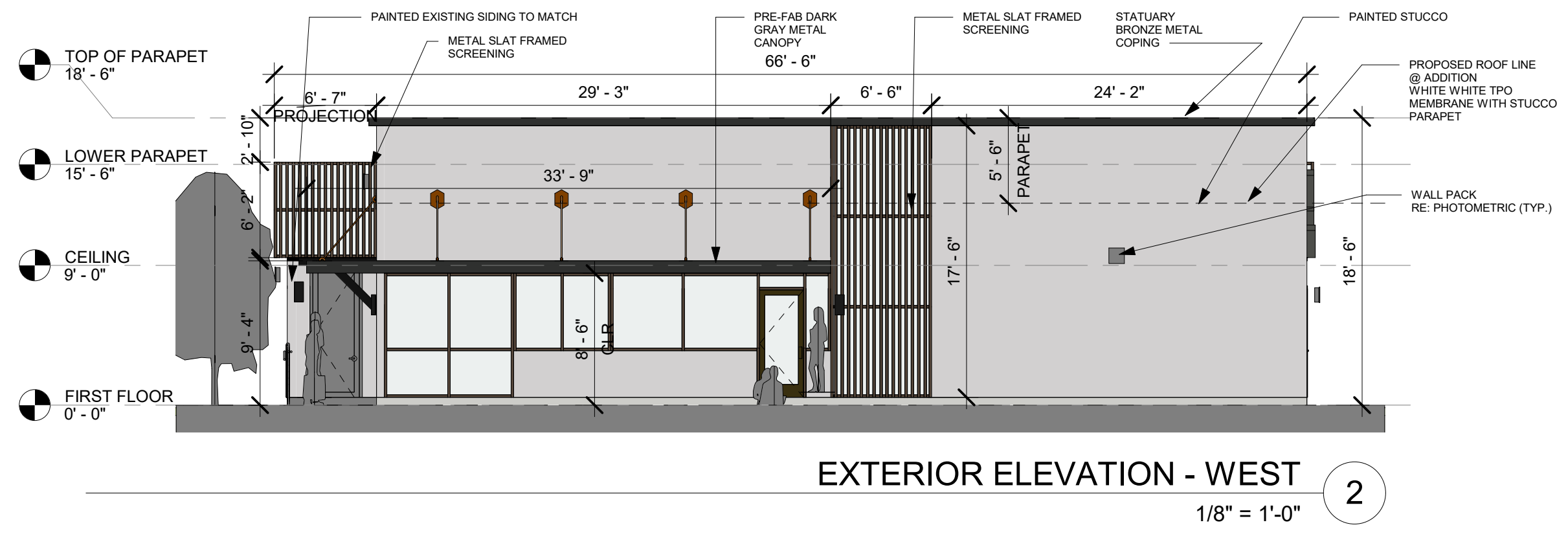
PENDING



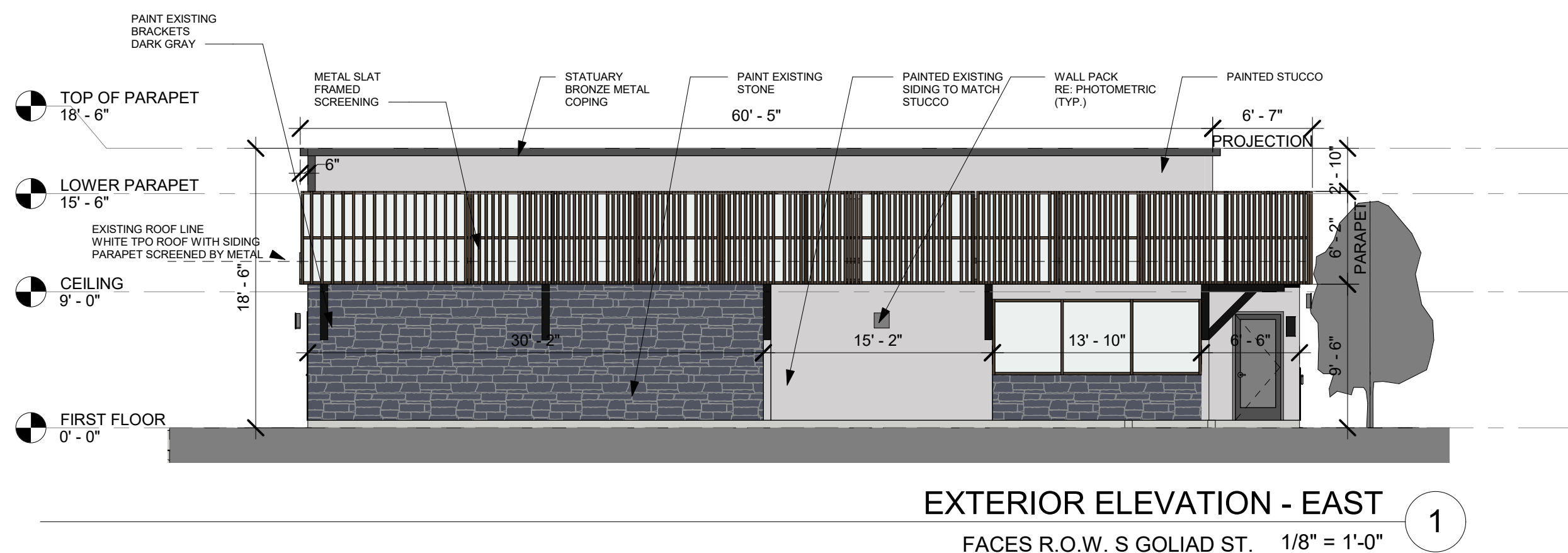
SOUTH ELEVATION-SECONDARY FACADE		
NEW METAL COPING	22.53 SF	1.9%
NEW METAL CANOPY	3.56 SF	1.7%
NEW PAINTED STUCCO	373.5 SF	33%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	22.75 SF	1.9%
EXISTING SIDING- PAINTED	670.73 SF	61%
TOTAL	1098.54 SF	100%



NORTH ELEVATION-PRIMARY FACADE		
NEW METAL COPING	10.53 SF	1.1%
NEW METAL CANOPY	15.14 SF	1.6%
NEW PAINTED STUCCO	176.3 SF	20.9%
EXISTING WOOD BRACKETS- PAINTED	9.15 SF	1.2%
NEW METAL SLAT SCREENING	350.92 SF	41.9%
EXISTING SIDING- PAINTED	140.69 SF	16.9%
EXISTING STONE- PAINTED	44.62 SF	5.2%
EXISTING GLAZING	52.46 SF	6.1%
NEW GLAZING	42.76 SF	5.1%
TOTAL	842.57 SF	100%



WEST ELEVATION-SECONDARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW METAL CANOPY	26.72 SF	2.3%
NEW PAINTED STUCCO	718.77 SF	62%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	155.87 SF	13.4%
EXISTING SIDING- PAINTED	24.39 SF	2.1%
NEW GLAZING	204.78 SF	17.1%
TOTAL	1,166.46 SF	100%



EAST ELEVATION-PRIMARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW PAINTED STUCCO	170.46 SF	14.1%
EXISTING WOOD BRACKETS- PAINTED	22.81 SF	2%
NEW METAL SLAT SCREENING	410.48 SF	34%
EXISTING SIDING- PAINTED	185.24 SF	15.3%
EXISTING STONE- PAINTED	317.38 SF	26.3%
EXISTING GLAZING	69.17 SF	5.7%
TOTAL	1206 SF	100%

MATERIAL INDEX	
	METAL COPING COLOR: STATUARY BRONZE FINISH: MATTE
	EXTRUDECK METAL CANOPY COLOR: DARK GREY FINISH: MATTE
	PAINTED STUCCO COLOR: WHITE DOVE FINISH: MATTE
	PAINTED EXISTING BRACKETS COLOR: BLACK FINISH: MATTE
	ALUMINUM SLAT SCREEN COLOR: DARK BRONZE FINISH: MATTE
	EXISTING SIDING - PAINTED TO MATCH STUCCO COLOR: WHITE DOVE FINISH: MATTE
	EXISTING STONE - PAINTED COLOR: EVENING DOVE FINISH: MATTE

REVISIONS:

TBAE
ARCHITECTURAL CONSULTING
REGISTERED ARCHITECT

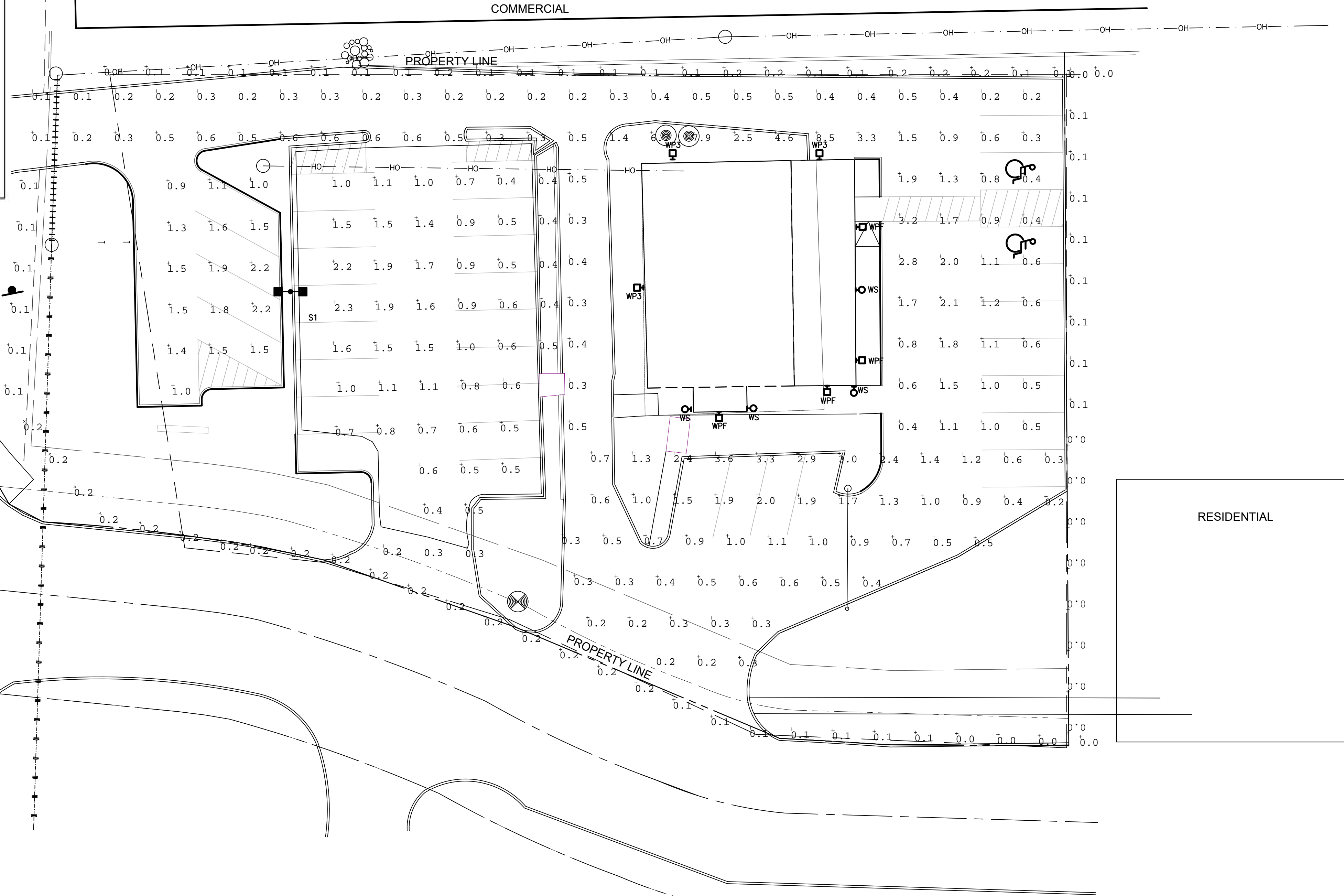
METHOD ARCHITECTURE, PLLC
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SITE DATA TABLE

<u>EXISTING ZONING</u>	DT
<u>PROPOSED USE</u>	COMMERCIAL
<u>SITE AREA</u>	0.69 ACRES
<u>BUILDING AREA</u>	
EXISTING BUILDING	2,246 SF
PROPOSED BUILDING	525 SF
<u>PARKING</u>	
PARKING REQUIRED	1/200 SF 16 STANDARD STALLS 2 ACCESSIBLE STALLS
PARKING PROVIDED	25 STANDARD SPACES 2 ACCESSIBLE SPACES
<u>NOTE: PROPERTY IS CURRENTLY PLATTED</u>	

EXTERIOR LIGHTING SCHEDULE

FIXTURE TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LAMPING TYPE		VOLTAGE	MOUNTING	FINISH	NOTES
				NO.	W L				
WP3 (WP3E)	LED Exterior Wall Pack	HE Williams	VWPH-L30-740-T3-BLK-CGL-DIM-UNV WP3E = "EM/10WC"	1	36W 3327L 4000K 70CFI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 7.5' AFF
WPF	LED Exterior Wall Pack	HE Williams	VWPH-L60-740-TFT-BLK-CGL-DIM-UNV	1	69W 5688L 4000K 70CFI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 14' AFF UON
WS (WSE)	LED Exterior Wall Sconce	Bega	66516 WSE=PROVIDE 90 MIN EM INVERTER	1	21W 1047L 4000K 85CFI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 6' AFF
S1	LED Pole Light	Lithonia	DSX1 LED P1 40K TFM MVCLT NLTAIR2 HS SSS20-4C-DM28-DBLXD	1	54W 6963L 4000K 85CFI	120V	Pole	Black	MOUNT AT 20' AFF



STATISTICS

AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE/PARKING	1.0	8.5	0.2	5.0	43

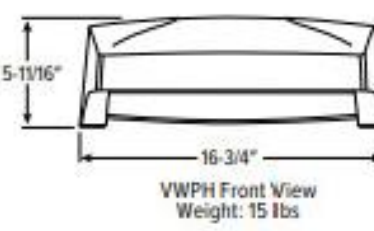


1

SITE PLAN - ELECTRICAL
SCALE: 1/16" = 1'-0"



VWP LED
Voitairre Architectural Wall Pack



CATALOG # _____
TYPE: _____
PROJECT: _____



FEATURES

- Designed to illuminate sidewalks, entryways, porches or facades
- Intended for use in both uplight and downlight applications
- Savings of up to 80% energy compared to HID systems
- Blends seamlessly with a variety of architectural styles
- Made Right Here in the USA

SPECIFICATIONS

- HOUSING** - Die-cast aluminum enclosure.
- THERMAL MANAGEMENT** - Integral die-cast aluminum heatsink and LED assembly provide passive thermal management. Rated 30°C to 40°C ambient operating temperature (20°C to 40°C with EM10W; 0°C to 35°C with EM4W).
- OPTICAL SYSTEM** - Precision, injection-molded, refractive acrylic lensing produces standard IES distributions.
- LED ASSEMBLY** - ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CR LEDs.
- LED DRIVER** - 0-10V dimming.
- ELECTRICAL** - 120-277, 347, and 480 VAC input range; 50-60Hz; power factor > 90; THD < 20%; full load; FCC Class A compliant; 50A/10kV surge protection standard. Quick-disconnect wiring provided. 1.70-150,000 hours per IES TM-21.
- FINISH** - Super durable polyester powder coat bonded to phosphate-free, multi-stage pretreated metal, meets and exceeds AAMA 2604 specifications for outdoor durability.
- MOUNTING** - Surface mounts directly over a 4" maximum outlet box. Must be anchored to adequate structure that can safely support fixture weight (VWPV = 15 lbs, VWPV = 23 lbs).
- LISTINGS** - eSAS certified as luminaire suitable for wet locations.
- DesignLights Consortium qualified

ORDERING EXAMPLE: VWP H - L30/740 - T3 - DBZ - SDGL - OPTIONS - DIM - UNV

ORDERING INFO

SERIES	TYPE	LUMENS (1)	CRI	CCT	DISTRIBUTION (2)
VWP	H Horizontal V Vertical	L30 3,000lm L60 6,000lm	70 80	30 3000K 40 4000K 50 5000K	T3 Type III TFT Type Forward throw

FINISH OPTIONS (3)

SERIES	FINISH
BLK	Black (RAL #9004)
DBZ	Dark bronze
DBR	Medium bronze
GRAY	Standard gray
SLV	Satin aluminum (RAL #9006)
WHT	White (RAL #9003)

SHIELDING

SERIES	SHIELDING
SDGL	Micro-prismatic tempered glass lens
CGL	Clear tempered glass lens

OPTIONS

SERIES	OPTION
EM4W	4-watt integral emergency LED driver (4)
SF	Single fuse (4)
DF	Double fuse (4)
PC	Factory-installed button-style photocell (7)
HS6X	Empty housing extension used to match units with EM, OCC, or conduit entry options.
TP	Tamper-resistant Torx head screws (8)

CONTROL

SERIES	CONTROL
DIM	Dimming driver prewired for 0-10V controls
208	208V
240	240V
277	277V
UNV	120-277V
347	347V (9)
480	480V (9)

VOLTAGE

SERIES	VOLTAGE
120	120V
208	208V
240	240V
277	277V
UNV	120-277V
347	347V (9)
480	480V (9)

CONDUIT ENTRY (9)

SERIES	CONDUIT ENTRY
CR	Right side conduit entry (10)
CL	Left side conduit entry (10)
CD	Dual conduit entry

EMPH ONLY

SERIES	EMPH ONLY
EM10W	10-watt emergency LED driver (12)
OCCWS FSP-311-L	Factory-installed occupancy sensor (12)

ACCESSORIES

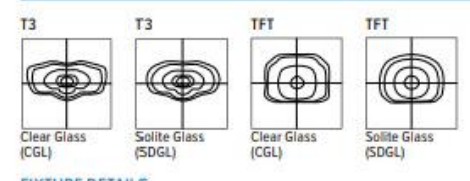
SERIES	ACCESSORY
TPFX-25 TOOL	Tamper-resistant tool for Torx head screws (10)

VWP LED
Voitairre Architectural Wall Pack

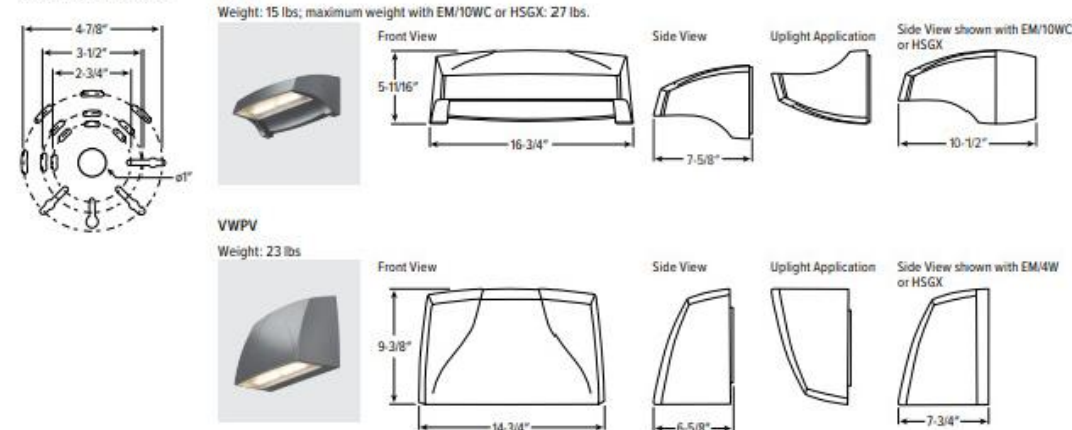
FIXTURE PERFORMANCE DATA

LEDRACKAGE	DISTRIBUTION	WATTAGE	CCT	CLEAR GLASS (3)	SHIELDING (3)	BEAMS PER (3)	BUS RATINGS
L30	T3	36	3000	3527	8.2	2953	B1-00-01
				3527	8.2	2953	B2
				3438	35.5	2959	B1
				3729	74.4	2933	B2
				2844	79.0	2055	B3
				3139	81.6	2143	B2
	TFT	36	3000	3527	8.2	2953	B1-00-01
				3527	8.2	2953	B2
				3438	35.5	2959	B1
				3729	74.4	2933	B2
				2844	79.0	2055	B3
				3139	81.6	2143	B2
L60	T3	70	5000	4820	37.6	4376	B1-00-01
				4820	37.6	4376	B2
				5430	73.1	5095	B2
				5688	81.3	5320	B3
				5670	81.3	5498	B2
				5670	81.3	5688	B2
	TFT	70	5000	4820	37.6	4376	B1-00-01
				4820	37.6	4376	B2
				5430	73.1	5095	B2
				5688	81.3	5320	B3
				5670	81.3	5498	B2
				5670	81.3	5688	B2
L30	T3	36	3000	3527	8.2	2953	B1-00-01
				3527	8.2	2953	B2
				3438	35.5	2959	B1
				3729	74.4	2933	B2
				2844	79.0	2055	B3
				3139	81.6	2143	B2
	TFT	36	3000	3527	8.2	2953	B1-00-01
				3527	8.2	2953	B2
				3438	35.5	2959	B1
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				2844	79.0	2055	B3
				3139	81.6	2143	B2
L60	T3	70	5000	4820	37.6	4376	B1-00-01
				4820	37.6	4376	B2
				5430	73.1	5095	B2
				5688	81.3	5320	B3
				5670	81.3	5498	B2
				5670	81.3	5688	B2
	TFT	70	5000	4820	37.6	4376	B1-00-01
				4820	37.6	4376	B2
				5430	73.1	5095	B2
				5688	81.3	5320	B3
				5670	81.3	5498	B2
				5670	81.3	5688	B2

DISTRIBUTION DETAILS



BEAM PATTERN DETAIL



using extension when specified with conduit tube depth. Conduit entry provided with 1/2" thread and plug. Increases fixture height, e supplied by others. Left and right when 0 fixture.
viewed from behind fixture.
viewed from behind fixture.
includes housing extension increases fixture height, not available with CR and CD options. See DETAILS.
extension (increases fixture depth), must see 3 for OCCUPANCY SENSOR DETAILS.
transformer.
Note: must be ordered separately. Please consult our contact.

Wall luminaire - two-sided narrow beam light distribution



Application
LED wall mounted luminaire with light emission on two sides. The narrow beam light distribution of the luminaire is identical in both directions. Arranged individually or in groups, they are great design elements for a host of lighting applications.

Materials
Luminaire housing and faceplates constructed of extruded and die-cast marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy
Clear safety glass
Reflectors made of pure anodized aluminum
High temperature silicone gaskets
Mechanically captive stainless steel fasteners
Stainless steel helicoils

NRTL listed to North American Standards, suitable for wet locations
Protection class IP 65
Weight: 7.5 lbs

Electrical
Operating voltage: 120-277VAC
Minimum start temperature: -40° C
LED module wattage: 15.8W
System wattage: 21.0W
Controllability: 0-10V dimmable
Color rendering index: Ra > 80
Luminaire lumens: 1,047 lumens (3000K)
LED service life (L70): 60,000 hours

LED color temperature
□ 4000K - Product number + **K4**
□ 3500K - Product number + **K5**
□ 3000K - Product number + **K3**
□ 2700K - Product number + **K27**
□ Amber - Product number + **AMB**

Wildlife friendly amber LED - Optional
Luminaire is optionally available with a narrow bandwidth, amber LED source (565-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

LED module wattage 18.5W (Amber)
System wattage 22.5W (Amber)
Luminaire lumens 384 lumens (Amber)
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors: Black (BK) White (MNT) RAI -
 Bronze (BRZ) Silver (SLV) CUS -

Available Accessories
□ **70547** Surface mounted wiring box
See individual accessory spec sheet for details.



β - Beam angle

LED	β	A	B	C	D	Required wiring box	
66516	15.8W	20°	4%	19%	6%	1%	19537



Specifications
EPA: 1.01 ft² (0.094 m²)
Length: 33" (838 mm)
Width: 13" (330 mm)
Height H1: 7-1/2" (190 mm)
Height H2: 3-1/2" (89 mm)
Weight (max): 27 lbs (12.3 kg)

Ordering Information

Series	LED	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9	30K 3000K 40K 4000K 50K 5000K	T15 Type I short (Rectangular) T25 Type II short T3M Type III medium T5M Type IV medium T4M Type IV medium T7M Forward throw medium	T55 Type I very short T55 Type I short T55M Type I medium T55M Type I wide T55M Type II medium LECO Left corner coast R20 Right corner coast	M00L1 M00L2 120V 240V 277V 347V 480V

Control options	Other options	Shipped included
Shipped installed NLR12 Night 10 generation 2 enabled (1) PR18N Network, high/low medium/amber sensor (1) PR18S NEMA non-facade receptacle only (controls ordered separately) PR18S Five-pin receptacle only (controls ordered separately) PR18S Seven-pin receptacle only (controls ordered separately)	PR High/low, medium/amber sensor, 5-15 mounting height, ambient sensor enabled at 36" PRM High/low, medium/amber sensor, 15-30 mounting height, ambient sensor enabled at 36" PRMTCV High/low, medium/amber sensor, 5-15 mounting height, ambient sensor enabled at 36" PRMTCV Hi-beam, medium/amber sensor, 15-30 mounting height, ambient sensor enabled at 36"	SHIPPED INCLUDED M00L1 M00L2 WBA SP18A SP18BA KHAM DDBX10 M00L1 M00L2 WBA SP18A SP18BA KHAM DDBX10 M00L1 M00L2 WBA SP18A SP18BA KHAM DDBX10

Performance Data

LED Config	Drive Current	Power Factor	System Watts	Dist. Type	50K (2700K, 3000K)						40K (3500K, 4000K)						30K (4000K, 5000K)					
					Lumens			lm/W			Lumens			lm/W			Lumens			lm/W		
					10'	15'	20'	10'	15'	20'	10'	15'	20'	10'	15'	20'	10'	15'	20'	10'	15'	20'
30	530	P1	54W	T15	4,657	2	0	2	126	4,956	2	0	2	120	7,044	2	0	2	180			
				T5	4,420	2	0	2	119	4,949	2	0	2	120	7,037	2	0	2	180			
				T3M	4,483	0	1	120	4,884	2	0	2	120	7,033	2	0	2	181				
				T55	4,279	2	0	2	116	4,944	2	0	2	125	6,810	2	0	2	177			
				T3M	4,480	1	0	120	4,940	1	0	2	120	7,029	1	0	2	181				
				T4M	4,327	1	0	117	4,816	1	0	2	126	6,992	1	0	2	178				
				T3M	4,484	1	0	120	4,941	1	0	2	120	7,031	1	0	2	181				
				T3M	4,322	2	0	124	7,242	3	0	2	134	7,314	3	0	2	186				
				T55	4,278	2	0	125	7,248	2	0	2	134	7,248	2	0	2	186				
				T3M	4,480	1	0	120	4,940	1	0	2	124	7,034	1	0	2	181				
				T3M	4,667	1	0	2	123	7,182	3	0	2	133	7,213	3	0	2	185			
				REC	5,688	1	0	2	129	6,961	1	0	2	129	7,011	1	0	2	187			
LECO	1,943	1	0	2	73	4,244	1	0	2	79	4,302	1	0	2	80							
REC	1,943	1	0	2	73	4,244	1	0	2	79	4,302	1	0	2	80							
T5	4,249	0	0	2	119	4,886	0	0	2	127	6,899	0	0	2	178							
T25	4,240	2	0	2	118	4,877	2	0	2	127	6,899	2	0	2	178							
T55	4,388	1	0	2	123	5,253	1	0	2	132	6,969	1	0	2	184							
T55	4,435	2	0	2	125	5,641	2	0	2	133	6,975	2	0	2	185							
T3M	4,263	2	0	2	118	4,893	2	0	2	127	6,974	2	0	2	179							
T4M	4,480	2	0	2	119	4,906	2	0	2	124	6,978	2	0	2	179							
T3M	4,257	2	0	2	118	4,896	2	0	2	127	6,988	2	0	2	179							
T55	4,395	1	0	2	123	5,253	1	0	2	132	6,969	1	0	2	184							
T55	4,395	2	0	2	123	5,253	2	0														